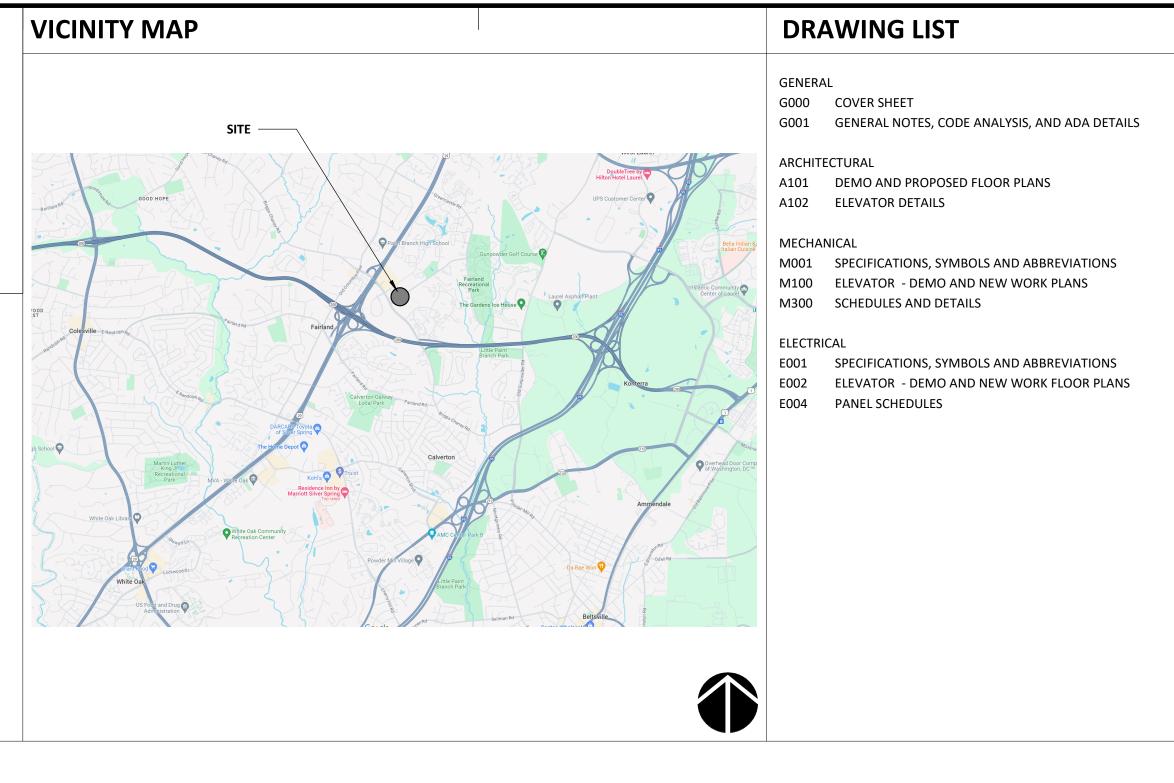
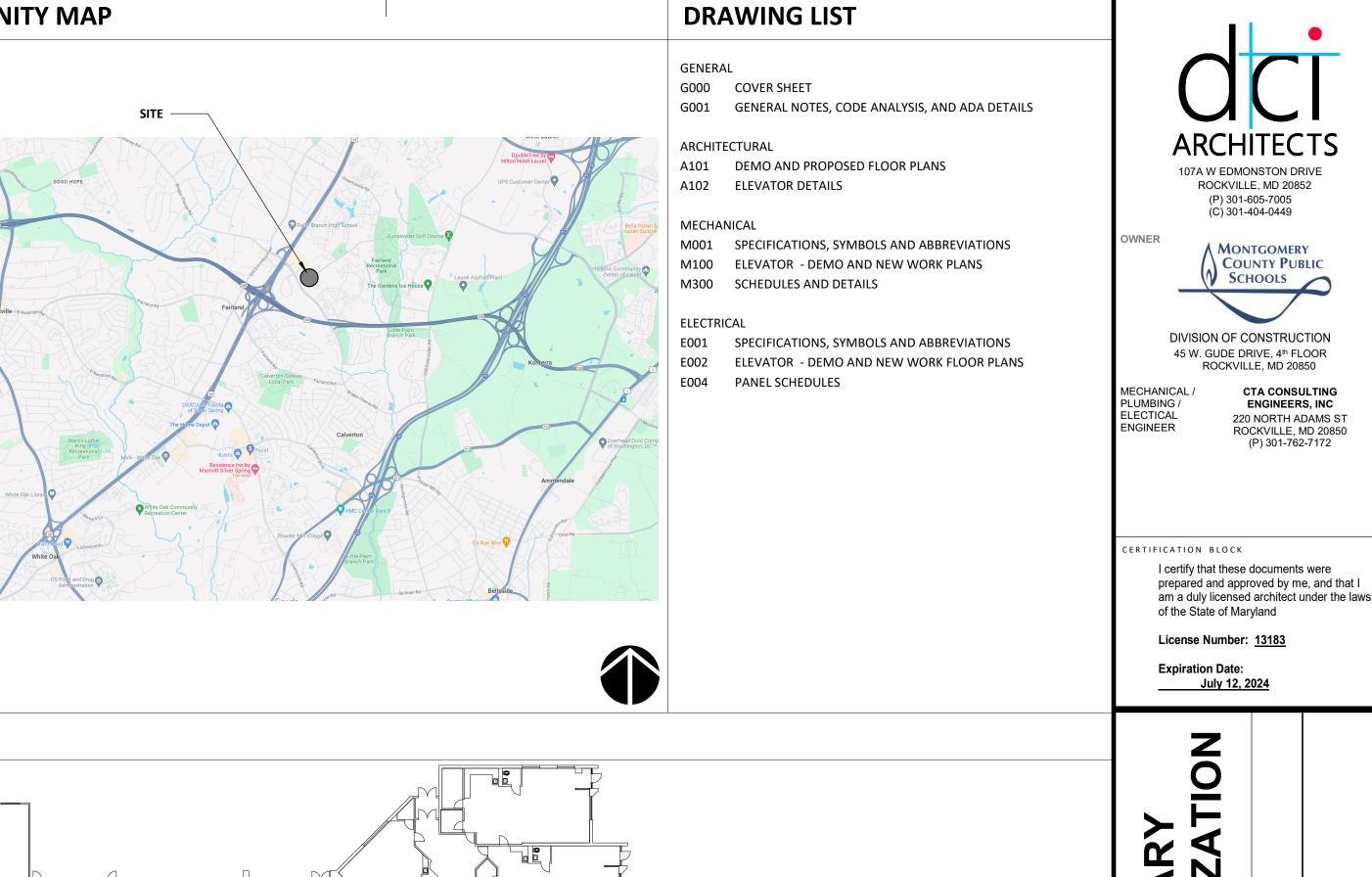
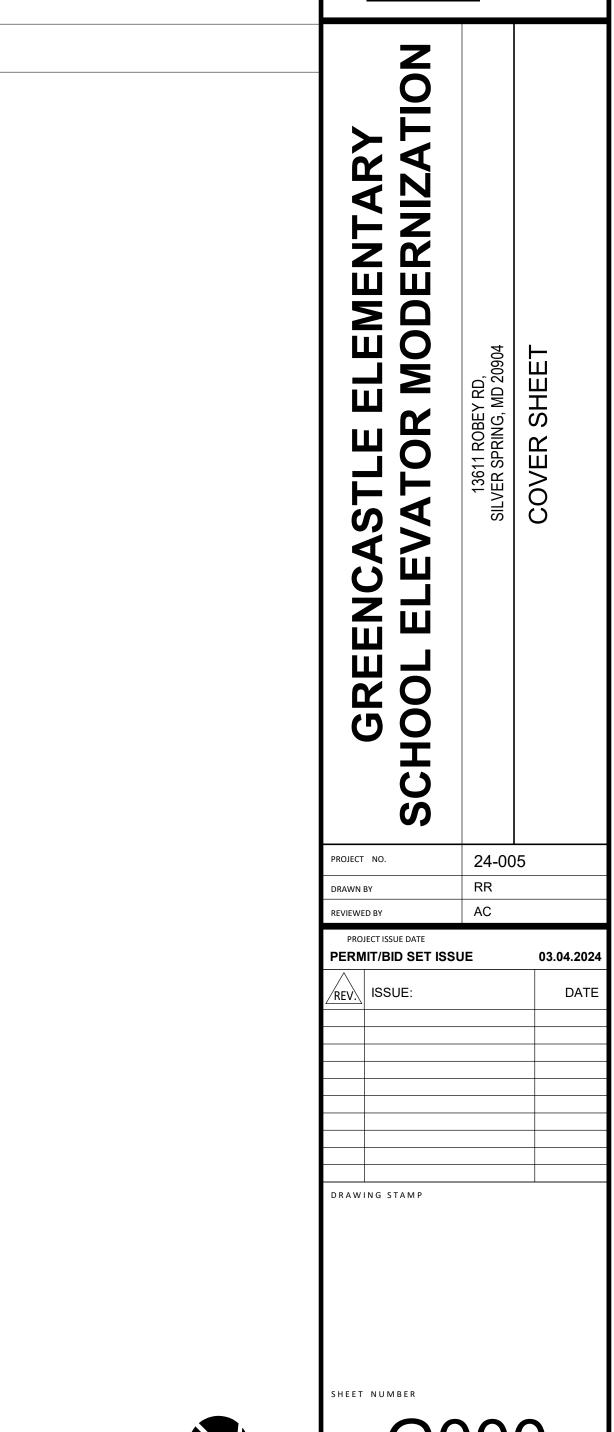
GREENCASTLE ELEMENTARY SCHOOL

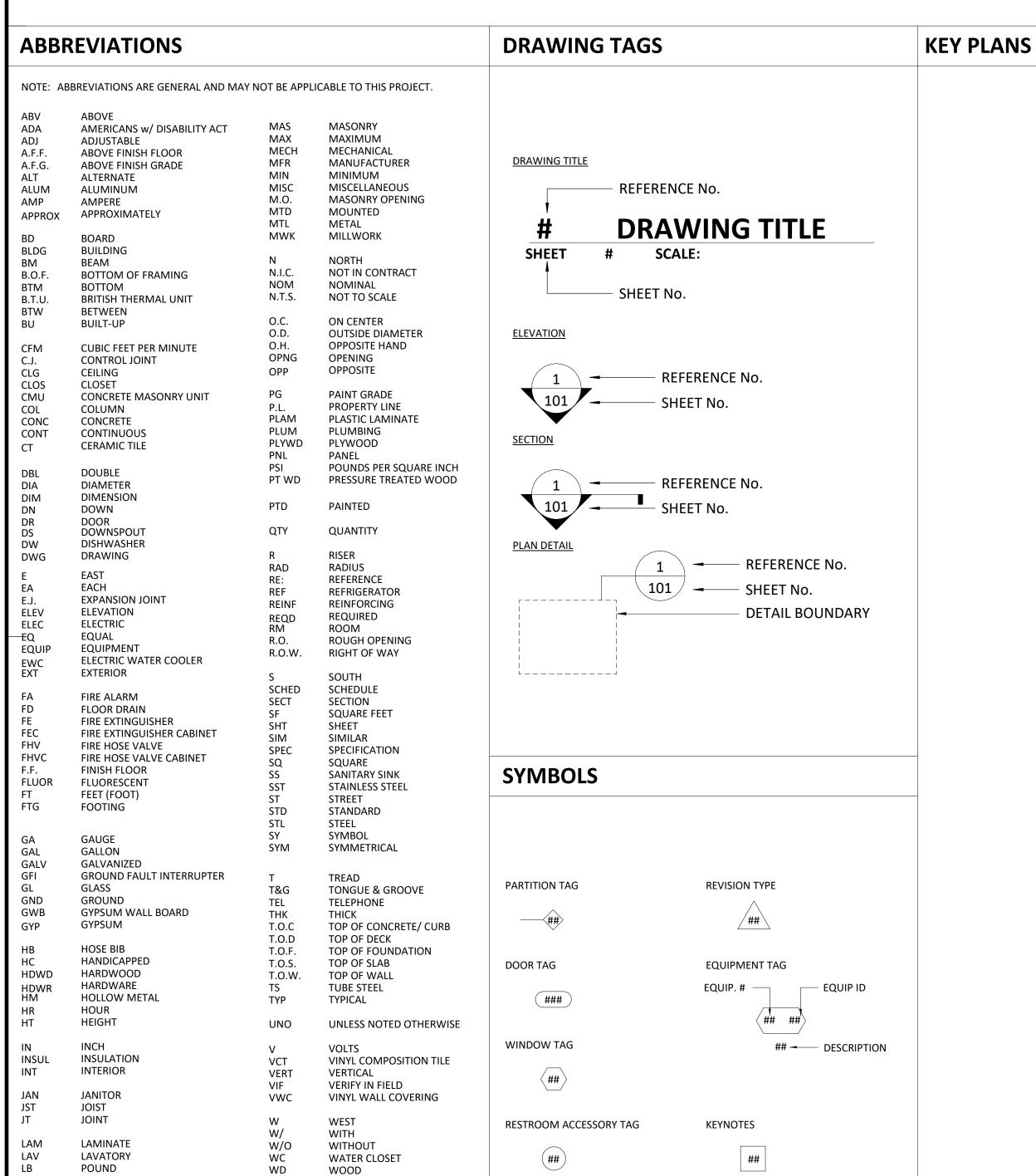
ELEVATOR MODERNIZATION 13611 ROBEY RD, SILVER SPRING, MD 20904

> BID SET ISSUE 3.4.2024









WATER FOUNTAIN

WEIGHT

9999 **ENTRANCE FIRST FLOOR** - AREA OF WORK SECOND FLOOR

AREA OF WORK

LINEAR FEET

LIGHTING

GENERAL NOTES

- THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ADDENDA, MODIFICATIONS, GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT AND SPECIFICATIONS
- THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS SHALL NOT BE USED BY OWNER OR TENANT FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT, NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING WITH THE ARCHITECT.
- PERMITS: GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, EXCEPT BUILDING PERMIT. QUALITY: CONTRACTOR SHALL PERFORM ALL WORK AND INSTALL ALL COMPONENTS IN A PROFESSIONAL
- MANNER. ALL FINISH WORK TO BE TRUE, LEVEL & PLUMB. ALL JOINTS TO BE TIGHT & CLEAN. CODE COMPLIANCE: WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & FEDERAL CODES INCLUDING NFPA; USE TESTED AND CERTIFIED ASSEMBLIES, AS REQUIRED BY CODE.
- HANDICAP ACCESSIBILITY: CONTRACTOR SHALL COMPLY WITH ACCESSIBILITY GUIDELINES 36 CFR PART 1191 OF THE FEDERAL REGISTER, ITS PREVIOUS TO ANSI STANDARD A117.1, AND TITLE III OF THE AMERICAN WITH DISABILITY ACT (ADA), AND LOCAL ORDINANCES.
- WARRANTY: ALL CONSTRUCTION, MATERIALS, PRODUCTS AND WORK TO BE WARRANTED FOR A PERIOD OF TWO YEARS FROM DATE OF FINAL ACCEPTANCE BY THE OWNER, UNLESS LONGER PERIODS ARE SPECIFIED FOR SPECIFIC MANUFACTURER'S / SYSTEMS, IN WHICH CASE THOSE LONGER PERIODS SHALL APPLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. NO MEASUREMENT SHALL BE SCALED FROM THE CONTRACT
- DRAWINGS. CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION IF A DIMENSION(S) IS IN QUESTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS
- AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE ACHIEVED PRIOR TO RELATED WORK BEING STARTED.
- DIMENSIONS AND NOTES ON ENLARGED PLANS AND DETAILS ARE TO OVERRIDE SMALLER SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF DRYWALL UNLESS NOTED OTHERWISE.
- REMOVE ALL DEBRIS, PACKING MATERIAL, DEMOLISHED MATERIAL AND EXTRANEOUS TRASH GENERATED BY 21. CONSTRUCTION FROM BUILDING & SITE UNLESS NOTED, TO BE TURNED OVER TO OWNER. ALL DEMOLISHED 22. MATERIAL NOT TO BE TURNED OVER OWNER SHALL BECOME THE PROPERTY OF GENERAL CONTRACTOR. ALL MATERIAL, HARDWARE, FIXTURES AND FINISHED TO BE BUILDING STANDARD UNLESS NOTED OTHERWISE.

BUILDING STANDARD INFORMATION IS AVAILABLE THOROUGH THE OWNER'S REPRESENTATIVES AND

TYPICALLY MATCHES EXISTING INTERIOR CONSTRUCTION. ALL GENERAL CONTRACTORS & SUBCONTRACTORS ARE TO VISIT THE SITE PRIOR TO COMPLETING BID TO VERIFY EXISTING CONDITIONS. GENERAL CONTRACTOR & SUBCONTRACTORS TO PROVIDE WRITTEN DOCUMENTATION OF ANY DISCREPANCY BETWEEN SITE CONDITIONS & DOCUMENTS. SUBMISSION OF BID IS CONFIRMATION THAT EXISTING CONDITIONS HAVE BEEN FULLY TAKEN INTO CONSIDERATIONS & ARE

- SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL TRADES AS SOON AS POSSIBLE TO THE ARCHITECT, ALLOWING TEN (10) WORKING DAYS FOR REVIEW. SHOP DRAWINGS SHALL BE REVIEWED & APPROVED BY CONTRACTOR PRIOR SUBMITTING THEM TO ARCHITECT. NO CONSTRUCTION SHALL PROCEED UNTIL THE APPROVAL OF THESE DRAWINGS. ALL TRADES SHALL BE REVIEWED BY THE ARCHITECT AT THE SAME TIME. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATION, INSTALLATION, INSTRUCTION, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK. CONTRACTOR SHALL FOLLOW PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT, IN WRITING, IMMEDIATELY TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.
- CONTRACTOR TO PROVIDE 2X FIRE RESISTANT BLOCKING AS NECESSARY BEHIND ALL WALL MOUNTED
- CONTRACTOR TO PROVIDE BUILDING CONSTRUCTION REPRESENTATIVE WITH COPIES OF DELIVERY, AND CONSTRUCTION SCHEDULES. CONTRACTOR TO COORDINATE ALL SCHEDULES WITH BUILDINGS CONSTRUCTION
- CUTTING & PATCHING: CONTRACTOR TO PATCH, REPAIR & REFINISH WORK DAMAGED AS A RESULT OF DEMOLITION OR REMOVAL OF CONSTRUCTION TO MATCH ADJACENT FINISH. PATCH THRU-WALL/ THRU-FLOOR PENETRATIONS TO MAINTAIN EXISTING BUILDING INTEGRITY.
- IF NEEDED, CORING, DRILLING OR OTHER SUCH WORK IN ADJACENT TO OCCUPIED AREAS SHALL BE PERFORMED AT HOURS MINDFUL OF THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED. GENERAL CONTRACTOR SHALL DIRECTLY COORDINATE WITH BUILDING OWNER'S REPRESENTATIVE AND AFFECTED TENANT(S)
- IF NEEDED, NO CORE DRILLING SHALL BE PERFORMED BEFORE 8:30 AM MONDAY FRIDAY OR BEFORE 9:00 AM SATURDAY - SUNDAY. WITH REGARD TO CORE DRILLED SLAB OPENINGS, A DRAWING SHOWING THE LOCATION AND SIZE OF ALL OPENINGS SHALL BE SUBMITTED TO THE BUILDING OWNER'S REPRESENTATIVE FOR REVIEW
- BY THE BUILDING STRUCTURAL ENGINEER. IF REQUIRED, UTILITY OUTAGES SHALL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED
- IF REQUIRED, ALL ROOF WORK TO BE COMPLETED BY MCPS APPROVED ROOFING CONTRACTOR. PROVIDE A SMOOTH, NEAT, CONTINUOUS APPEARANCE WHERE DEMOLITION WORK MEETS ADJACENT EXISTING WORK. REMOVE EXISTING FINISHES AS REQUIRED TO PROVIDE NEAT, STRAIGHT SEAMS AND TRANSITIONS BETWEEN EXISTING AND MATCHING NEW FINISHES.

OCCUPANCY UNLESS OTHERWISE INDICATED.

DEPTH FOLDING DOOR

- CONTRACTOR WILL COORDINATE AND OBTAIN ALL PERMITS AND APPROVALS TO HAVE AN OPEN TOP DUMPSTER AT CURBSIDE OF THE BUILDING.
- 24. CONTRACTOR TO PROTECT EXISTING FLOORING TO REMAIN WITH MINIMUM 1/2" PLYWOOD SHEETS.

APPLICABLE CODES

MONTGOMERY COUNTY, MD JURISDICTION: BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE (IBC) AS MODIFIED BY MONTGOMERY COUNTY AMENDMENTS 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

MONTGOMERY COUNTY CODE, CHAPTER 17 ELECTRICITY **ELECTRICAL CODE:** NFPA 70 (NATIONAL ELECTRICAL CODE) ACCESSIBILITY CODE: COMAR 09.12.53 MARYLAND ACCESSIBILITY CODE

MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE (IMC) ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WASHINGTON SUBURBAN SANITARY COMMISSION (WSSC) PLUMBING CODE:

FUEL GAS CODE: 2018 INTERNATIONAL FUEL GAS CODE (ICC) MONTGOMERY COUNTY CODE CHAPTER 22 FIRE SAFETY CODE FIRE & LIFE-SAFETY CODE:

SECOND FLOOR

2015 NFPA 1 FIRE CODE 2015 NFPA 101 LIFE SAFETY CODE

ELEVATOR CODE: ASME 17.1 SAFETY CODE FOR ELEVATORS AND ESCALATORS

BUILDING DESCRIPTION:

CODE ANALYSIS

PROJECT DESCRIPTION: ELEVATOR MODERNIZATION FOR ONE EXISTING HYDRAULIC ELEVATORS. EXIST CABS TO BE REFURBISHED; NEW MACHINE RM EQUIPM, DOORS AND

CONTROLS.

EXISTING

IBC OCCUPANCY CLASSIFICATION E AND A3 E AND A3 (NO CHANGE) **EDUCATION AND ASSEMBLY EDUCATION AND ASSEMBLY (NO CHANGE)** NFPA 101 - OCCUPANCY CLASSIFICATION II-B IBC TYPE OF CONSTRUCTION II-B IBC NUMBER OF STORIES ABOVE GRADE (BLDG) HEIGHT ABOVE GRADE (BLDG) APPROX. 25' - 0" APPROX. 25' - 0" (NO CHANGE) HIGH RISE (Y/N) STANDPIPES (Y/N) FULLY SPRINKLERED (Y/N) FIRE ALARM (Y/N) FLOOR AREA OF RENOVATION (GROSS) 169 SF 169 SF (NO CHANGE)

APPROX. 78,275 SF **BUILDING AREA** NO CHANGE CODES USED FOR DESIGN IBC 2018

OCCUPANT LOAD: (NO CHANGE)

FINISH CLASS RATINGS:

- ALL FLOOR, WALL AND CEILING FINISHES WILL MEET OR EXCEED SMOKE DEVELOPMENT AND FLAME SPREAD RATING
- REQUIREMENTS OF IBC 2018 CHAPTER 8. (USE: E) MINIMUM FLOOR FINISH RATING REQUIRED: CLASS 'II'
- MINIMUM WALL/CEILING FINISH RATING REQUIRED: CLASS 'C'

ERTIFICATION BLOCK

MECHANICAL /

ELECTICAL

ENGINEER

I certify that these documents were prepared and approved by me, and that I am a duly licensed architect under the laws of the State of Maryland

107A W EDMONSTON DRIVE

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MONTGOMERY

SCHOOLS

DIVISION OF CONSTRUCTION

45 W. GUDE DRIVE, 4th FLOOR

ROCKVILLE, MD 20850

CTA CONSULTING

ENGINEERS, INC

220 NORTH ADAMS ST

ROCKVILLE, MD 20850

DETAIL(

ADA

AND

ENERAL

(P) 301-762-7172

COUNTY PUBLIC

License Number: 13183 **Expiration Date:**

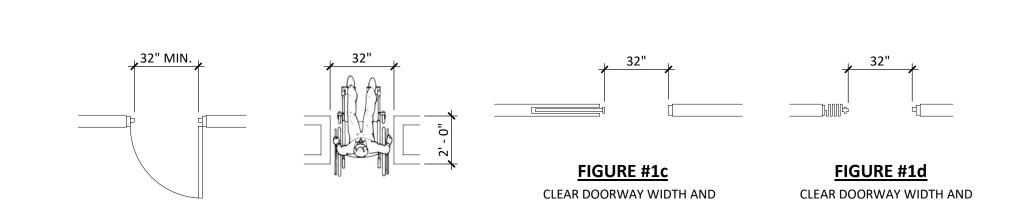
July 12, 2024

TYPICAL ADA DETAILS

FIGURE #1a

CLEAR DOORWAY WIDTH AND

REFLECTED IN THE COSTS PROVIDED.



DEPTH SLIDING DOOR

1. CLEAR WIDTH EXCEPTION: DOORS NOT REQUIRING FULL USER PASSAGE, SUCH AS SHALLOW CLOSETS, MAY HAVE THE CLEAR OPENING REDUCED TO 20 INCHES MINIMUM

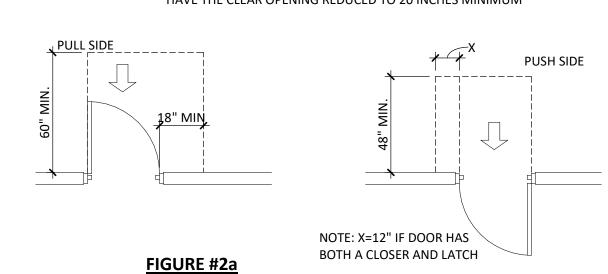


FIGURE #1b

CLEAR DOORWAY WIDTH AND DEPTH. MAXIMUM DOORWAY

FRONT APPROACHES - SWINGING DOORS

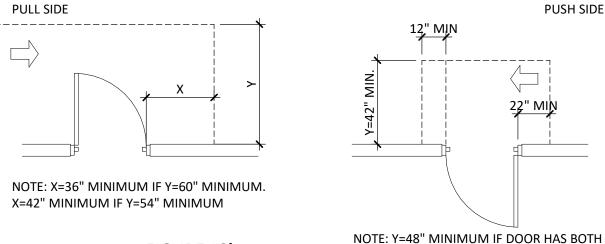


FIGURE #2b HINGE SIDE APPROACHES - SWINGING DOORS

PUSH SIDE NOTE: Y=54" MINIMUM IF DOOR HAS CLOSER

> FIGURE #2c LATCH SIDE APPROACHES - SWINGING DOORS

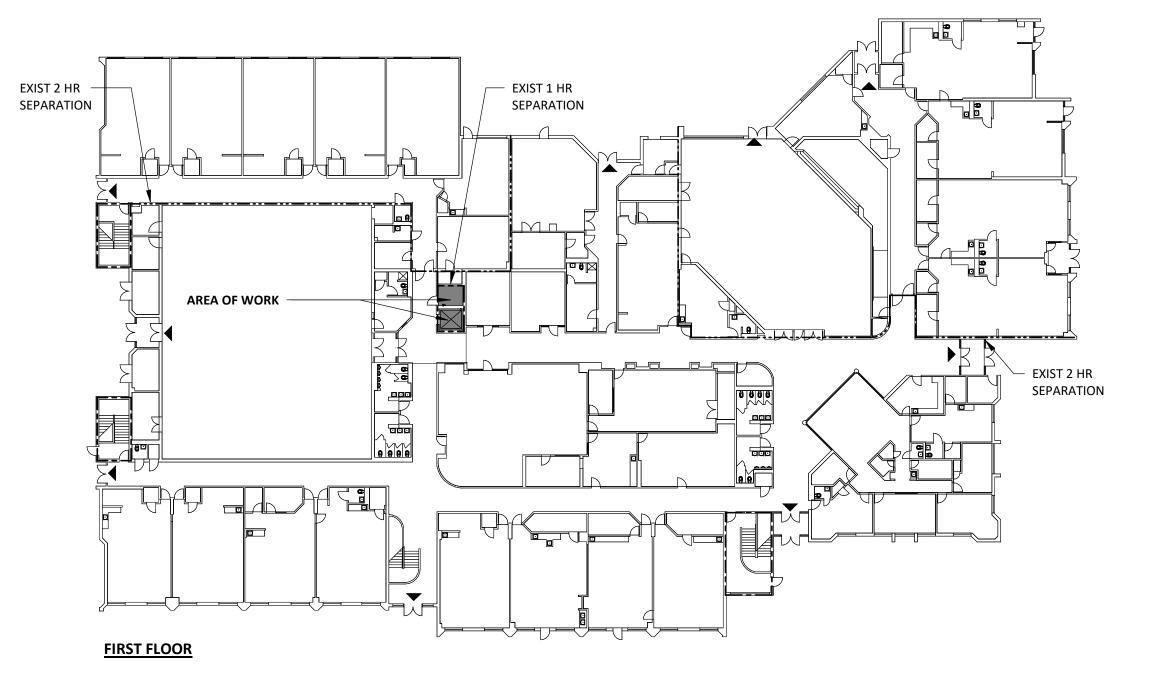
NOTE: Y=48" MINIMUM IF DOOR HAS

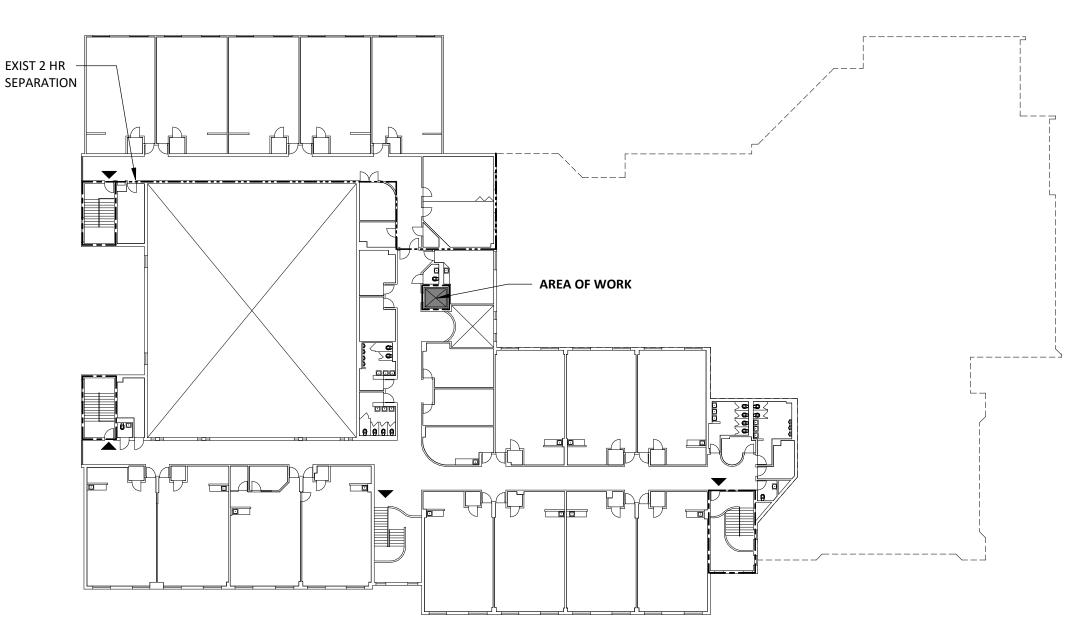
A CLOSER AND LATCH

LIFE SAFETY PLANS (NO CHANGE TO EGRESS COMPONENTS)

EXIST 1 HR FIRE RATED PARTITION **EXIST 2 HR FIRE RATED PARTITION**

EXIST EXIT



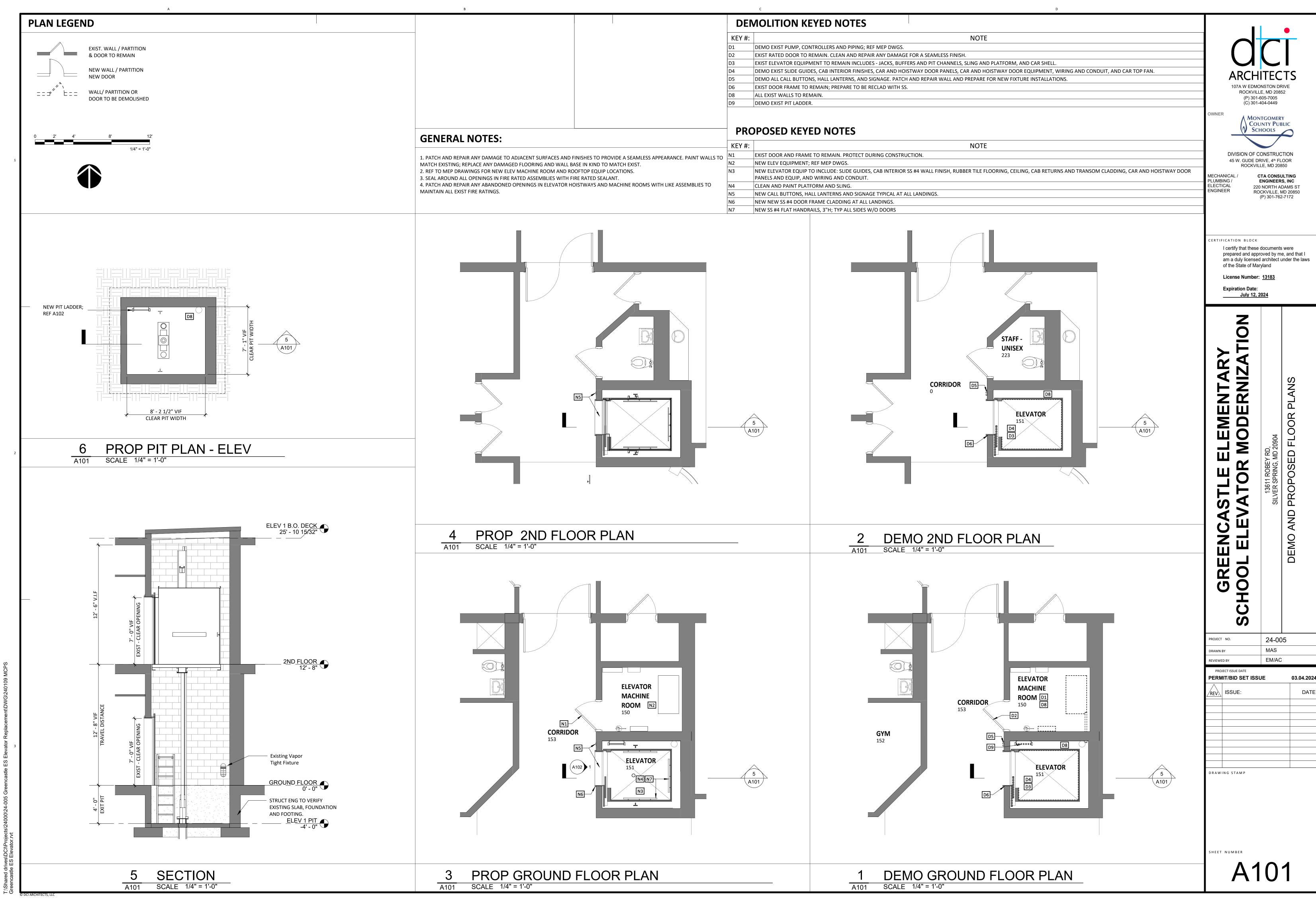


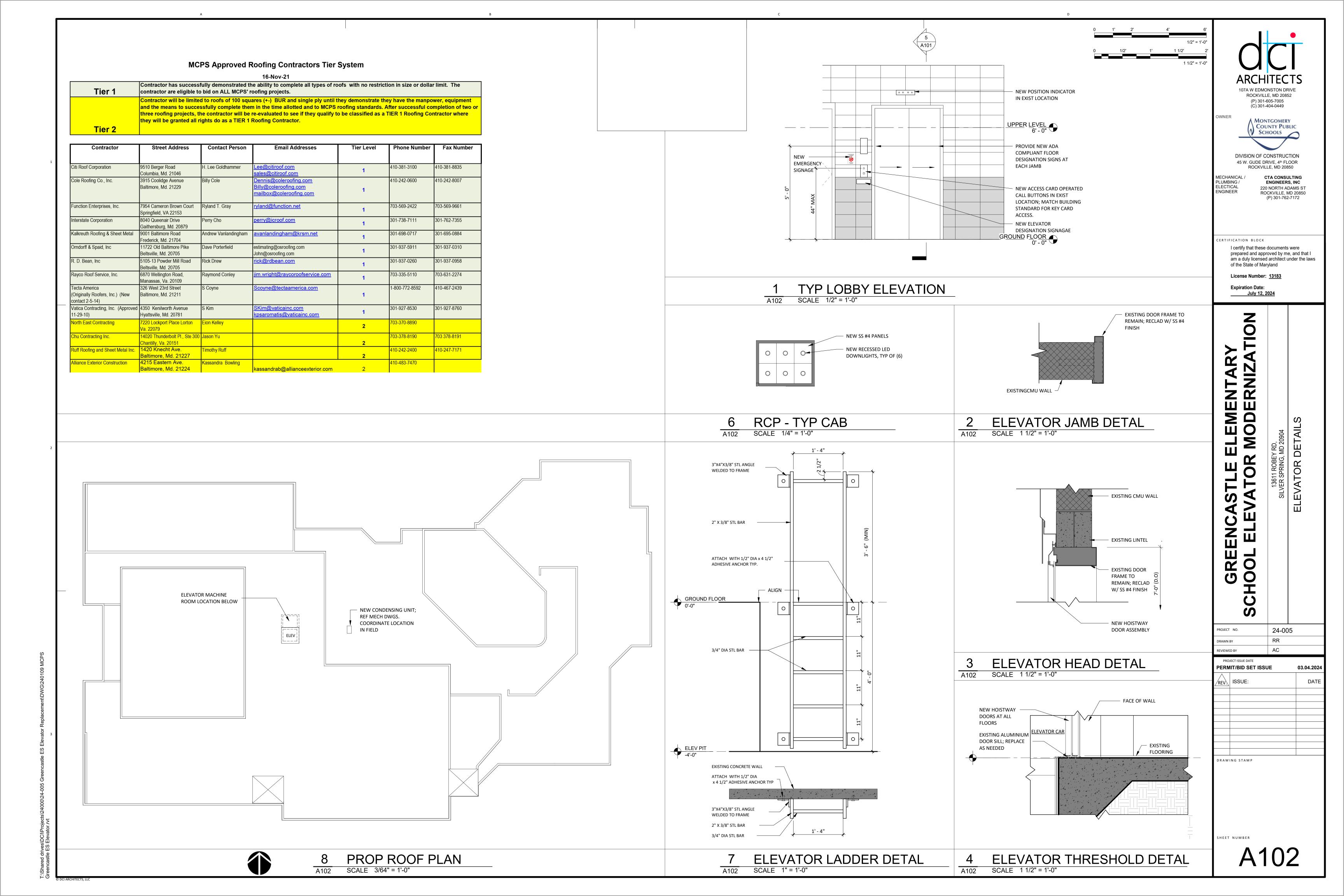
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24-005 REVIEWED BY

PROJECT ISSUE DATE PERMIT/BID SET ISSUE 03.04.202 /REV. | ISSUE: DRAWING STAMP

SHEET NUMBER





GENERAL NOTES

- THE WORK SHALL INCLUDE ALL DEMOLITION, FURNISHING AND INSTALLING ALL HEATING, AIR CONDITIONING, VENTILATION, PLUMBING, AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- THE CONTRACTOR SHALL EXAMINE THE DRAWINGS, SPECIFICATIONS, AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING A BID. WAIVER OF RESPONSIBILITY OR REQUEST FOR ADDITIONAL PAYMENT BASED ON LACK OF KNOWLEDGE OF CONDITIONS AT THE SITE WILL NOT BE ACCEPTED OR CONSIDERED.
- PRIOR TO FABRICATION OF DUCTWORK, THIS CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. IF DUCTS CANNOT BE INSTALLED AS SHOWN ON THE DRAWINGS, THIS CONTRACTOR SHALL NOTIFY THE OWNER'S ARCHITECT IMMEDIATELY. ANY EXTRA OR DEDUCT NECESSITATED BY THE ABOVE CONDITION SHALL BE SUBMITTED TO THE OWNER'S ARCHITECT IN WRITING PRIOR TO THE CONTINUATION OF THE
- ALL THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE EDITIONS OF THE INTERNATIONAL MECHANICAL CODE, AND ALL LOCAL CODES AND REGULATIONS. WHERE ANY PORTIONS OF THE SYSTEMS SHOWN ON THE DRAWINGS IS NOT IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS OR CODES, THIS CONTRACTOR SHALL MAKE ALL CHANGES REQUIRED BY THE ENFORCING AUTHORITIES IN A MANNER APPROVED BY THE ENGINEER AND AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL ORDER AND OBTAIN ALL NECESSARY TESTS, PERMITS AND CERTIFICATES OF APPROVAL AND PAY ANY REQUIRED FEES
- WORK SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE BY PERSONS OR WEATHER AND ALL DAMAGED WORK RESTORED TO A NEW CONDITION BEFORE FINAL ACCEPTANCE.
- IF DURING CONSTRUCTION, ANY HAZARDOUS MATERIALS ARE ENCOUNTERED SUCH AS LEAD, ASBESTOS, ETC. THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AUTHORIZED TO DO SO, IN WRITING, BY THE OWNER.
- THIS CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE GENERAL CONTRACTOR FOR THE EXACT LOCATION OF CHASES, FURRING SPACES, DROPPED CEILINGS, STRUCTURE PENETRATIONS, PAINTING, ETC.
- EXAMINE ALL SERVICES, EQUIPMENT, SURFACES ETC., WHICH THIS WORK IS IN ANY WAY DEPENDENT UPON. SHOULD THE CONTRACTOR DISCOVER ANY CONDITIONS WHICH WILL PREVENT FOLLOWING GOOD PRACTICE OR

- RESULT IN LESS THAN A FIRST-CLASS INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S ARCHITECT IMMEDIATELY AND SHALL NOT PROCEED WITH HIS WORK UNTIL HE HAS RECEIVED INSTRUCTIONS FROM THE OWNER'S AGENT.
- 10. THE CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION TO BE FREE FROM DEFECTS FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTS OCCURRING DURING THE GUARANTEE PERIOD SHALL BE CORRECTED AT NO ADDITIONAL COST TO THE OWNER.
- 11. ALL EQUIPMENT REQUIRING ELECTRIC POWER SHALL BE SUITED FOR USE WITH THE POWER TO BE SUPPLIED. ALL ELECTRICAL REQUIREMENTS SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR.
- 12. ALL EQUIPMENT SHALL BE TESTED FOR PROPER OPERATION AND CORRECTED AS NECESSARY. TEST, ADJUST AND BALANCE ALL AIR SYSTEMS TO PROVIDE AIR QUANTITIES SHOWN ON THE FLOOR PLANS AND PREPARE BALANCING REPORTS. TESTING, BALANCING AND BALANCING REPORTS SHALL BE IN ACCORDANCE WITH PROCEDURES OUTLINED BY THE AABC OR THE NEBB. TESTING & BALANCING SHALL BE PERFORMED BY A CERTIFIED BALANCING CONTRACTOR EITHER WITH AABC OR NEBB.
- 13. CONTRACTOR SHALL INSTRUCT THE OWNER IN THE OPERATION AND MAINTENANCE OF ALL COMPONENTS OF THE INSTALLATION.

HVAC SYMBOLS LIST

5----5 EXISTING WORK EXISTING DUCTWORK TO BE REMOVED SINGLE LINE REPRESENTATION NEW DUCTWORK **─∪**─ DOOR UNDERCUT POINT OF CONNECTION NEW TO EXISTING

RETURN OR EXHAUST REGISTER

EXISTING DIFFUSER. REBALANCE FOR CFM SHOWN.

ABBREVIATIONS

SUBSCRIPTS ADJACENT TO SYMBOLS

EXISTING DEVICE TO BE REMOVED AND RELOCATED

EXISTING DEVICE

EXISTING RELOCATED DEVICE

EXISTING DEVICE TO BE REMOVED

<u> </u>	
AFF CFM	ABOVE FINISHED FLOOR CUBIC FEET PER MINUTE
CLG	CEILING
CD	CEILING CEILING DIFFUSER
0.5	
DIA	DIAMETER
DN	DOWN
ER	EXHAUST REGISTER
EXIST.	EXISTING
F	FAN
FLR	FLOOR
ΙE	INVERT ELEVATION
MIN	MINIMUM
RR	RETURN REGISTER
RA	RETURN AIR
TYP	TYPICAL
UNO	UNLESS OTHERWISE NOTED
UTR	UP THRU ROOF
VD	VOLUME DAMPER
· -	



MONTGOMERY COUNTY PUBLIC (V) SCHOOLS DIVISION OF CONSTRUCTION 45 W. GUDE DRIVE, 4 th FLOOR

ROCKVILLE, MD 20850



220 North Adams Street, Rockville, MD 20850 (301) 762-7172 www.ctaengineers.com

Pro. No.: 24010

CERTIFICATION BLOCK I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland

> License Number: 12404 **Expiration Date:** April 12, 2025

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24-005 REVIEWED BY

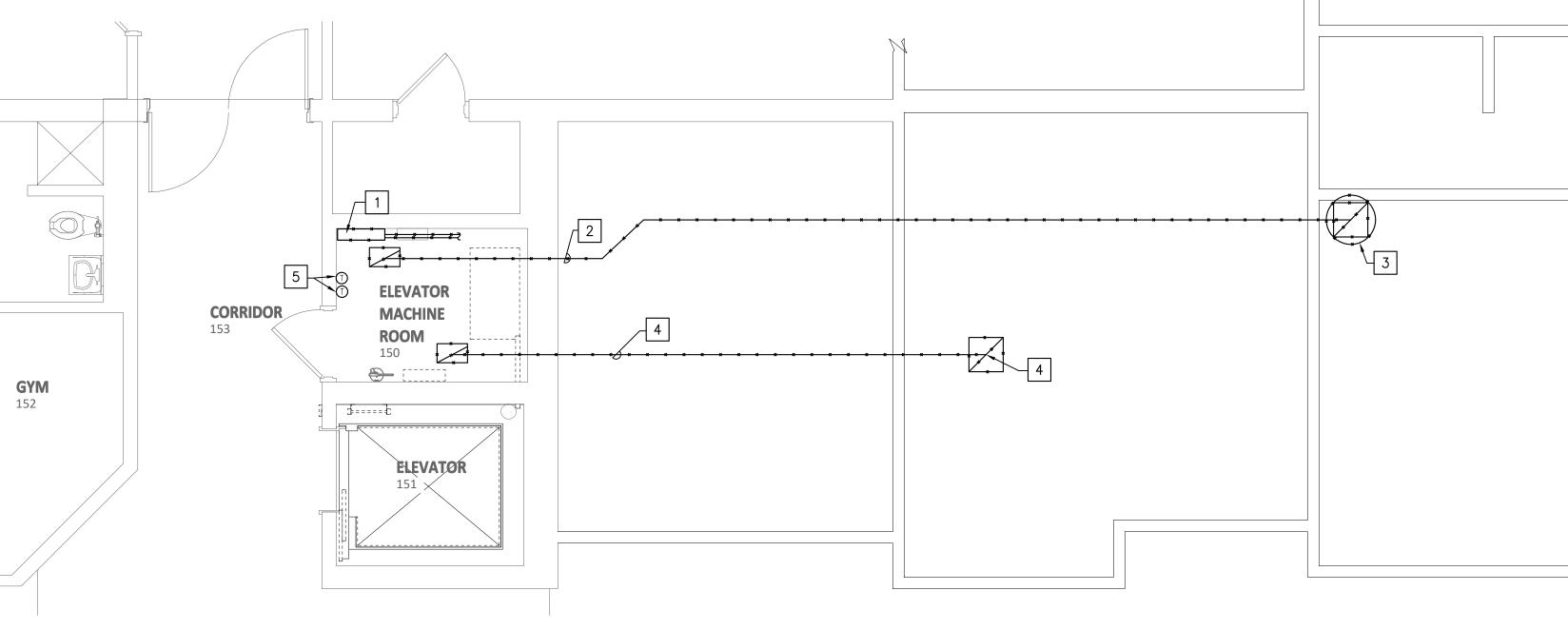
CHOOL

PROJECT ISSUE DATE

REV. ISSUE: 02/27/2024

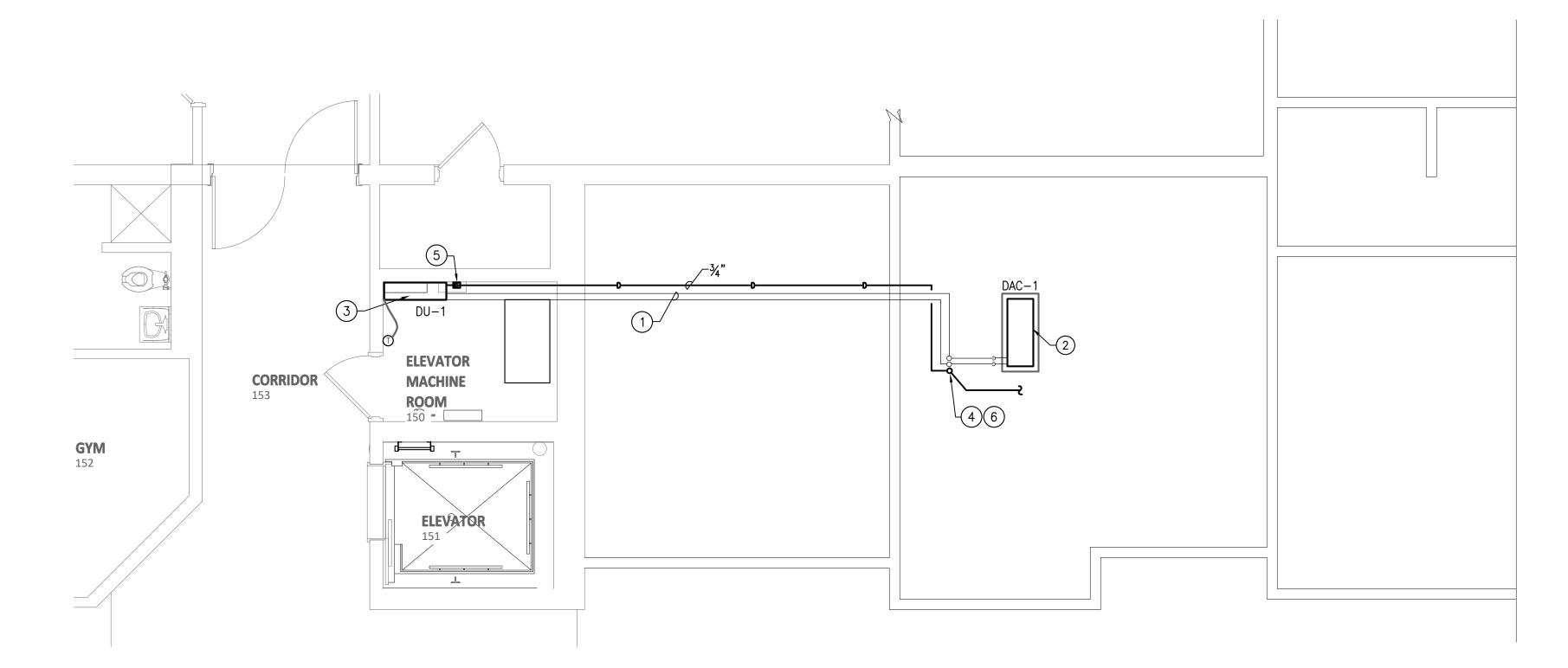
SHEET NUMBER

DRAWING STAMP



PARTIAL GROUND LEVEL - DEMOLITION ELEVATOR

SCALE: 1/4"=1'-0"



GENERAL NOTES: DEMOLITION

- 1. ALL WORK SHOWN ON THIS PLAN IS EXISTING AND TO REMAIN UNLESS OTHERWISE INDICATED.
- 2. LOCATION OF EXISTING DUCTWORK, AIR DEVICES, PIPING AND AIR HVAC EQUIPMENT WERE TAKEN FROM EXISTING DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF LOCATION, ELEVATIONS, AND SIZES DURING CONSTRUCTION.

REFERENCE NOTES: DEMOLITION

- REMOVE CABINET HEATER ALONG WITH ALL ASSOCIATED, WIRING BACK TO SOURCE, DISCONNECTS, SUPPORTS, CONTROLS, THERMOSTAT, PIPING ETC. EXISTING WATER PIPING SHALL BE REMOVED BACK TO MAIN AND CAPPED.
- 2 REMOVE EXISTING DUCT AND GRILLES UP TO EXHAUST FAN ON ROOF.
- REMOVE FAN ON ROOF AND ALL ASSOCIATED DUCTWORK, WIRING, CONTROLS, SUPPORT, ETC. PATCH ROOF OPENING TO MATCH
- REMOVE EXISTING DUCT AND GRILLES UP TO WATERPROOF ROOF CAP ON ROOF. ROOF OPENING TO BE PARTIALLY RE USED PATCH REMAINDER OF ROOF OPENING TO MATCH EXISTING.
- 5 REMOVE EXISTING THERMOSTAT'S

GENERAL NEW WORK NOTES:

 ALL WORK SHOWN ON NEW WORK PLAN(S) IS NEW UNLESS OTHERWISE INDICATED AS EXISTING.

REFERENCE NOTES: NEW WORK

- 1) INSTALL REFRIGERANT PIPES ABOVE CEILING AS REQUIRED TO CONNECT TO OUTDOOR UNIT. FIELD COORDINATE EXACT ROUTING.
- 2 OUTDOOR UNIT ON ROOF, MOUNTED PER DETAIL. FIELD COORDINATE EXACT LOCATION.
- FIELD COORDINATE EXACT UNIT LOCATION WITH ELEVATOR INSTALLER.
- 4 ¾" CONDENSATE DRAIN PIPE UP THROUGH ROOF. EXTEND TO NEAREST ROOF DRAIN AND SPILL OVER DRAIN. PITCH PIPE 2% TOWARD DRAIN.
- (5) CONDENSATE PUMP BY LITTLE GIANT MODEL VCMA-15ULST. 60 WATTS MOTOR AT 115VOLTS/1PH/60HZ.
- 6 REFRIGERANT PIPES UP THROUGH EXISTING ROOF OPENING. PATCH ROOF OPENING TO MATCH EXISTING.

ARCHITECTS

107A W EDMONSTON DRIVE

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COUNTY PUBLIC
SCHOOLS

DIVISION OF CONSTRUCTION

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License Number: 12404

Expiration Date:
April 12, 2025

GREENCASTLE ELEMENTARY
HOOL ELEVATOR MODERNIZATION

13611 ROBEY RD,
SILVER SPRING, MD 20904

PROJECT NO. 24-005

DRAWN BY A.R.S.

REVIEWED BY C.A.

PROJECT ISSUE DATE

PERMIT SET 02/27/2024
BID SET 03/04/2024

DRAWING STAMP

HEET NUMBER

M100

PARTIAL GROUND LEVEL - NEW WORK ELEVATOR

SCALE: 1/4"=1'-0"

ANA OF WORK

NOT TO SCALE

KEY PLAN

NOTES

1) LOW AMBIENT CONTROLLER KIT TO 0°F

2) WALL MOUNTED THERMOSTAT

3) WALL MOUNTED SUPPORT BRACKETS.

4) REFRIGERANT: R410A

5) PROVIDE WITH CONDENSATE DRAIN REMOVAL PUMPS.

6) SINGLE POINT ELECTRICAL CONNECTION

7) INDOOR UNITS RECEIVE ELECTRICAL POWER FROM OUTDOOR UNITS

THROUGH FIELD-SUPPLIED INTERCONNECTED WIRING.

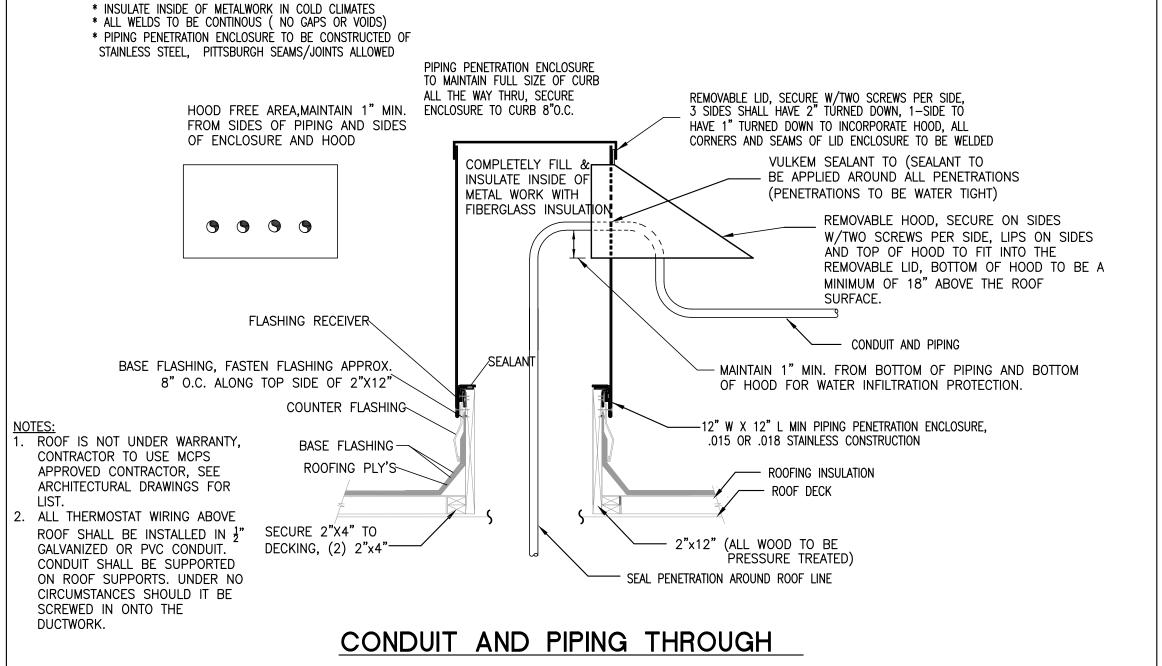
PIPIN	IG INSULATION	SCHEDULE
PIPE	THICKNESS	TYPE
REFRIGERANT PIPING	3/4"	FLEXIBLE CLOSED CELL ELASTOMERIC THERMAL INSULATION WITH A MAXIMUM WATER VAPOR PERMEABILITY OF 0.05 PERM—IN WITH A "K" FACTOR OF 0.245 OR LESS AT 75 F MEAN TEMPERATURE. K—FLEX NBR/PVC INSULATION LOCATED OUTDOORS SHALL BE CLADDED WITH WEATHER RESISTANCE COVERING. K—FLEX TITAN.

NOTES:

. INSULATION SHALL HAVE A FLAME SPREAD RATING NOT EXCEEDING 25 AND A SMOKE DEVELOPED RATING NOT EXCEEDING 50.

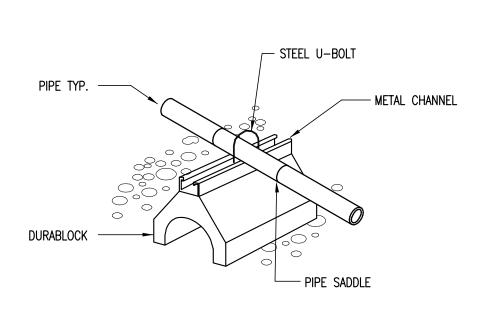
INSTALL INSULATION IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 FOR PIPING OUTDOORS INSULATION SHALL BE PROTECTED WITH A WEATHER PROTECTION JACKET AS SPECIFIED.



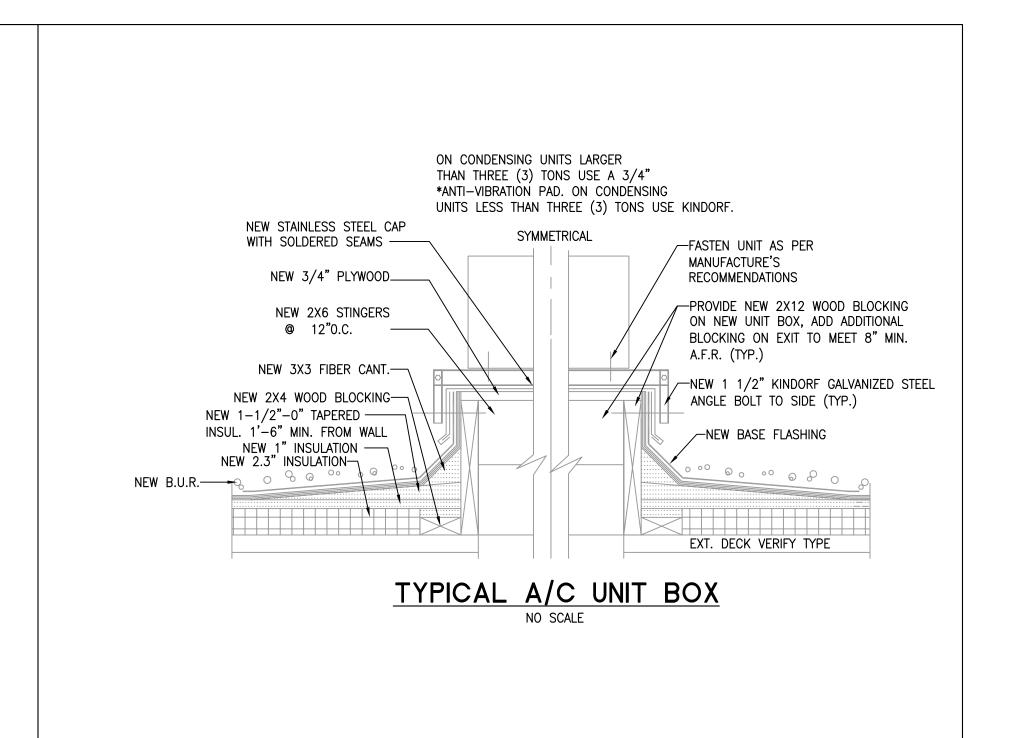


ROOF DECK DETAIL

NO SCALE



ROOF PIPING SUPPORT DETAIL





DIVISION OF CONSTRUCTION
45 W. GUDE DRIVE, 4 th FLOOR
ROCKVILLE, MD 20850



(301) 762-7172 www.ctaengineers.com

Pro. No.: 24010

CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws

License Number: 12404

Explration Date:

of the State of Maryland

April 12, 2025

NOTAZION

ELEVATOR MODE

13611 ROBEY RD,
SILVER SPRING, MD 20904

SCHEDULES AND DETAILS

PROJECT NO. 24-005

DRAWN BY A.R.S.

REVIEWED BY C.A.

PROJECT ISSUE DATE

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PERMIT SET

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DATE

PERMIT SET

02/27/2024

BID SET

03/04/2024

DRAWING STAMP

DRAWING STAMP

SHEET NUMBER

M300

T:\Shared drives\DC\\Projects\24000\24-005 Greencastle ES Elevator Replacement\DWG Greencastle ES Elevator.rvt

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- ANY DISCREPANCIES ON THE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION, IN WRITING, BEFORE SUBMITTING THE BID.
- ELECTRICAL PLANS ARE DIAGRAMMATIC. ALL WIRING AND RACEWAYS SHALL BE INSTALLED CONCEALED ABOVE CEILINGS AND INSIDE WALLS.
- 4. THE FOLLOWING TERMINOLOGY AND MEANINGS WILL BE USED IN THESE SPECIFICATIONS:
- A. PANELBOARDS "EQUIPPED SPACE" OR "SPACE": INCLUDE ALL NECESSARY BUS, DEVICE SUPPORTS AND CONNECTIONS FOR INSERTION OF A FUTURE
- B. "PROVIDE": FURNISH AND INSTALL
- C. "THIS CONTRACTOR": THE ELECTRICAL CONTRACTOR.
- THIS CONTRACTOR SHALL EXAMINE THE DRAWINGS, SPECIFICATIONS AND VISIT THE JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING HIS BID. WAIVER OF RESPONSIBILITY OR REQUEST FOR ADDITIONAL PAYMENT BASED ON LACK OF KNOWLEDGE OF CONDITIONS AT THE SITE WILL NOT BE ACCEPTED OR CONSIDERED. ANY DIFFICULTIES IN COMPLYING WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. IN WRITING. BEFORE SUBMITTING THE BID.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL CONFORM TO THE APPLICABLE EDITIONS OF THE NATIONAL ELECTRICAL CODE, NFPA 70, LOCAL JURISDICTION REQUIREMENTS AND LOCAL STATE CODE REQUIREMENTS.
- THIS CONTRACTOR SHALL ORDER AND OBTAIN ALL NECESSARY ELECTRICAL TESTS, PERMITS AND CERTIFICATES OF APPROVAL AND PAY ANY REQUIRED FEES FOR SAME.
- THIS CONTRACTOR SHALL VERIFY AVAILABLE VOLTAGE PRIOR TO ORDERING ANY EQUIPMENT OR FIXTURES. ANY EQUIPMENT OR FIXTURES SHALL BE COMPATIBLE WITH AVAILABLE VOLTAGE.
- SHOP DRAWINGS FOR ALL ELECTRICAL EQUIPMENT, FIXTURES, DEVICES AND MATERIALS SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR APPROVAL BEFORE DELIVERY TO THE JOB SITE. EQUIPMENT, FIXTURES, AND MATERIAL DELIVERED TO THE JOB SITE OR INSTALLED PRIOR TO APPROVAL OF THE SHOP DRAWINGS AND FOR WHICH THE SHOP DRAWINGS ARE SUBSEQUENTLY REJECTED, SHALL BE REPLACED WITH AN APPROVED ITEM AT NO ADDITIONAL COST TO THE OWNER. PROVIDE 6 COPIES FOR THE FOLLOWING ITEMS:
- A. LIGHTING FIXTURES AND SWITCHES INCLUDING BALLASTS, LAMPS, REFLECTORS ETC.
- B. RECEPTACLES
- PANELBOARDS D. FIRE ALARM DEVICES AND SHOP DRAWINGS
- 10. UNI ESS OTHERWISE NOTED. ALL FQUIPMENT, CIRCUITRY, DEVICES, MATERIALS ETC. SHALL BE NEW AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 11. ALL ELECTRICAL EQUIPMENT AND MATERIALS SHALL BEAR THE UNDERWRITER'S LABORATORIES LABEL.
- 12. ALL EQUIPMENT SUCH AS PANELBOARDS, TRANSFORMERS, STARTERS AND DISCONNECT SWITCHES SHALL BE AS MANUFACTURED BY EATON/CUTLER-HAMMER, GENERAL ELECTRIC, SQUARE-D, OR SIEMENS.
- 13. WORK SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE BY PERSONS OR WEATHER AND ALL DAMAGED WORK RESTORED TO A NEW CONDITION BEFORE FINAL ACCEPTANCE.
- 14. ALL PENETRATIONS OF FLOOR AND WALLS SHALL BE SEALED WITH UL LISTED PUTTY TYPE SEALING COMPOUND IN ACCORDANCE WITH BOCA, NEC AND NFPA.
- 15. ALL WORK SHALL BE PERFORMED DURING NORMAL WORKING HOURS, MONDAY THROUGH FRIDAY CONFIRM WITH OWNER. IF WORK CANNOT BE PERFORMED DURING NORMAL WORKING HOURS THE OWNER SHALL BE NOTIFIED PRIOR TO THE SIGNING OF THE CONTRACT.
- 16. THIS CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE GENERAL CONTRACTOR OR THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING THE WORK AND FOR DISCONNECTION AND RECONNECTION OF ANY UTILITIES THAT MAY HAVE TO BE DISCONNECTED FOR THE COMPLETION OF THE PROJECT. ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER BEFORE COMMENCEMENT OF WORK, WHETHER OR NOT AN OUTAGE IS REQUIRED.
- 17. THIS CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE GENERAL CONTRACTOR FOR THE EXACT LOCATION OF CHASES, FURRING SPACES, DROPPED CEILINGS, STRUCTURE PENETRATIONS, PAINTING, ETC.
- A. CONSULT ARCHITECTURAL PLANS AND DETAILS FOR CONSTRUCTION TYPE. HEADROOM, ROOM FINISHES, TYPE OF CEILING, FLOORS ETC.
- 18. ALL HVAC/PLUMBING EQUIPMENT INDICATED ON THE DRAWINGS SHALL BE CONNECTED UNDER THIS CONTRACT. ELECTRICAL EQUIPMENT REQUIREMENTS INDICATED ON DRAWINGS MAY DIFFER FROM ACTUAL EQUIPMENT FURNISHED. THIS CONTRACTOR SHALL COORDINATE ALL SUCH EQUIPMENT POWER REQUIREMENTS AND LOCATIONS WITH THE HVAC/PLUMBING CONTRACTORS PRIOR TO ROUGHING IN ANY DISCONNECT SWITCHES, WIRING, FEEDERS, BREAKERS, ETC. NECESSARY FOR EQUIPMENT INSTALLATION.
- 19. THIS CONTRACTOR SHALL COORDINATE ALL MOUNTING HEIGHTS FOR SWITCHES. RECEPTACLES, CEILING MOUNTED LIGHTING FIXTURES AND TELEPHONE OUTLETS BY THE USE OF THE ARCHITECTURAL REFLECTED CEILING PLANS AND ELEVATIONS. SHOULD ANY CONFLICTS BECOME APPARENT, THIS CONTRACTOR SHALL REQUEST CLARIFICATION PRIOR TO INSTALLATION. IF THE WORK IS NOT COORDINATED ANY REMEDIAL WORK SHALL BE REDONE AT NO ADDITIONAL COST TO THE OWNER.
- 20. FINAL TESTING: AT THE TIME OF FINAL INSPECTION AND TEST, ALL CONNECTIONS AT PANELBOARDS, DEVICES AND EQUIPMENT, AND ALL SPLICES MUST BE COMPLETED. EACH BRANCH CIRCUIT AND ITS RESPECTIVE CONNECTED EQUIPMENT MUST TEST FREE OF SHORT CIRCUITS. UPON COMPLETION OF THE WORK, CLEAN AND POLISH ALL EXPOSED SURFACES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 21. THIS CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION TO BE FREE FROM DEFECTS FOR TWO YEARS FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTS OCCURRING DURING THE GUARANTEE PERIOD SHALL BE CORRECTED AT NO ADDITIONAL COST TO THE OWNER.
- 22. THIS CONTRACTOR SHALL MAINTAIN ACCURATE RECORD DRAWINGS OF ALL WORK AS ACTUALLY INSTALLED. ON COMPLETION OF THE PROJECT THE FOLLOWING MATERIAL SHALL BE DELIVERED TO THE OWNER:

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A. TWO (2) COMPLETE SETS OF REPRODUCIBLE DRAWINGS SHALL BE DELIVERED TO THE OWNER AND ONE (1) SET OF DRAWING TO THE A/E B. ALL NEW INSTALLED EQUIPMENT MANUFACTURER'S DATA AND WARRANTY

- GENERAL: DIVISION I OF THE ARCHITECTURAL SPECIFICATIONS SHALL GOVERN THE SEQUENCE OF CONSTRUCTION.
- PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL BE SUBMITTED FOR APPROVAL. THE PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS SPECIFIED TO BE SALVAGED. PROTECTION OF PROPERTY WHICH IS TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. FIRE ALARM SYSTEMS, ELEVATORS, ETC. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF THE METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND THE SEQUENCE OF OPERATION.
- PROTECTION OF EXISTING WORK: EXISTING WORK TO REMAIN AND EXISTING WORK TO BE RELOCATED SHALL BE PROTECTED FROM DAMAGE. WORK DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER, COVER EQUIPMENT AS NECESSARY TO PROTECT IS FROM DUST AND DEBRIS. FLOORS TO REMAIN SHALL BE COVERED TO PROTECT THEM FROM DAMAGE. AT THE END OF EACH WORKING DAY AND DURING INCLEMENT WEATHER, CLOSE EXTERIOR OPENINGS WITH WEATHER-PROOF COVERS.
- 1. TITLE TO EQUIPMENT TO BE RELOCATED IS VESTED IN THE OWNER UPON RECEIPT OF NOTICE TO PROCEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED. EQUIPMENT REMOVED SHALL BE TURNED OVER TO THE OWNER AT A DESIGNATED POINT WITHIN THE PREMISES.
- AFTER REMOVAL OF ALL DEVICES THIS CONTRACTOR SHALL TURN ALL DEVICES OVER TO OWNER'S REPRESENTATIVE FOR HIM TO INSPECT. AFTER INSPECTED BY THE OWNER'S REPRESENTATIVE THIS CONTRACTOR SHALL REMOVE ALL UNNECESSARY DEVICES OR MATERIALS FROM THE SITE.
- DISPOSITIONS OF MATERIALS: DISPOSE OF EQUIPMENT AND MATERIALS TO BE DEMOLISHED IN A SAFE MANNER AND IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
- THIS CONTRACTOR SHALL CLEAN THE PROJECT SITE AND REMOVE DEBRIS AND RUBBISH AT THE END OF EACH WORKING DAY.
- 8. IF DURING CONSTRUCTION, ANY HAZARDOUS MATERIALS ARE ENCOUNTERED SUCH AS LEAD, ASBESTOS ETC. THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AUTHORIZED TO DO SO, IN WRITING, BY THE OWNER.
- . PROVIDE BLANK COVER PLATES ON ALL EXISTING OUTLETS NOT REUSED. COVER PLATES TO MATCH PROJECT SPECIFICATIONS.
- 10. PRIOR TO STARTING THE WORK, THIS CONTRACTOR SHALL PERFORM A CIRCUIT TRACING TO TEST THE EXISTING WORK TO REMAIN (OUTLETS, LIGHTING, LIGHT SWITCHES WIRING ETC.) FOR PROPER VOLTAGE, OPERATION AND BRANCH CIRCUIT ORIGINATION. A WRITTEN REPORT SHALL BE PREPARED INDICATING ANY DEFICIENCIES AND RECOMMENDED REPAIRS. SUBMIT FOUR (4) COPIES OF THIS REPORT TO THE ARCHITECT/OWNER FOR REVIEW. NO ADDITIONAL CHARGES WILL BE CONSIDERED AFTER COMPLETION OF THE WORK. TO REPAIR/CONNECT EXISTING OUTLETS UNLESS THESE WERE DESCRIBED IN THE REPORT ABOVE. ANY EXISTING DEVICES DISCONNECTED DURING CONSTRUCTION SHALL BE RE-CONNECTED AT NO ADDITIONAL COST TO THE OWNER.
- 1. THE CONTINUITY OF ALL EXISTING CIRCUITS WHICH ARE TO REMAIN OPERATIONAL SHALL BE MAINTAINED THROUGHOUT THE FACILITY. THIS CONTRACTOR SHALL IDENTIFY ALL CIRCUITS THAT SUPPLY POWER TO AREAS TO REMAIN, LABEL THESE CIRCUITS AND MAKE SURE THEIR POWER IS NOT INTERRUPTED DURING DEMOLITION AND CONSTRUCTION. ALL EXISTING CIRCUITS TO REMAIN SHALL BE RECONNECTED TO NEW OR EXISTING PANELS.
- 12. CONTRACTOR SHALL REMOVE ALL POWER, COMMUNICATIONS WIRING AND CONDUIT FROM LUMINAIRES. RECEPTACLES, TELEPHONE, DATA, CCTV AND CABLE TV OUTLETS TO BE REMOVED UNDER THE DEMOLITION PHASE. ALL WIRING AND CONDUIT SHALL BE REMOVED BACK TO SOURCE.
- 13. EXISTING FIRE ALARM AND FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED IN SERVICE DURING DEMOLITION AND NEW CONSTRUCTION.
- 14. THIS CONTRACTOR SHALL RESTORE ALL AREAS, SYSTEMS AND ASSOCIATED DEVICES, COMPONENTS, ETC., DISTURBED BY HIS WORK TO THE SATISFACTION OF THE OWNER, ARCHITECTS, AND ENGINEER.

- PROVIDE LABELING FOR ALL FEEDER RACEWAYS, ELECTRICAL PANELS, AND ALL MAJOR PIECES OF EQUIPMENT AS FOLLOWS:
- A. ALL RECEPTACLE PLATE COVERS SHALL BE LABELED WITH PANEL DESIGNATION AND CIRCUIT NUMBER.
- B. ALL FEEDER RACEWAYS SHALL BE LABELED AS TO ITEM SERVED WITH MINIMUM 1/4" HIGH LETTERS.

C. ALL JUNCTION BOXES FOR BRANCH CIRCUITRY SHALL BE LABELED WITH

ENGRAVED WHITE LETTERS BLACK LAMACOID BACKGROUND NAME PLATES.

NAME PLATE SHALL BE LABELED "F - NO." OR "AHU - NO." ETC.

PANEL DESIGNATION AND CIRCUIT NUMBERS WITH MINIMUM 1/4" HIGH LETTERS. D. ALL STARTERS AND DISCONNECTS SHALL BE LABELED WITH 1/4"

PANELBOARDS

- CIRCUIT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY SPACING THE CIRCUITS IN THE PANEL AND BALANCE THE LOAD ON THE PHASES UNDER NORMAL OPERATING CONDITIONS.
- . BEFORE ORDERING PANELBOARDS, COORDINATE ALL MOTOR CIRCUIT BREAKER TRIPS WITH MECHANICAL EQUIPMENT MANUFACTURER'S REQUIREMENTS. COORDINATE CONDUCTOR SIZE WITH ACTUAL MOTORS AND OTHER MECHANICAL AND ARCHITECTURAL EQUIPMENT FURNISHED BEFORE INSTALLING CIRCUITRY.
- ALL PANELBOARDS SHALL HAVE COMMON KEYED LOCKS. PROVIDE A MINIMUM OF TWO KEYS PER PANEL. PANELBOARDS SHALL BE COMPLETE WITH COVER AND TRIM AND SHALL CONTAIN A GROUND BUS.
- . SURFACE MOUNTED PANELBOARD CABINETS SHALL BE INSTALLED ON AN APPROVED STEEL FRAMEWORK TO DISTRIBUTE THE WEIGHT EVENLY TO THE WALL OR FLOOR AND TO PROVIDE A 1-INCH AIR SPACE BETWEEN WALL AND CABINET.
- OR SPACES. PROVIDE BOLT ON TYPE BRANCH CIRCUIT BREAKERS. THE BRANCH CIRCUIT BREAKERS SHALL BE CONSTRUCTED WITH OVER CENTER TRIP FREE, AND

ON RECESSED PANELBOARDS, PROVIDE ONE 3/4" EMPTY CONDUIT FROM TOP

OF PANEL 6" INTO CEILING SPACE FOR EVERY 3 SPARE CIRCUIT BREAKERS

AFTER COMPLETION OF WORK, PROVIDE A TYPED CIRCUIT DIRECTORY FOR EACH EXISTING PANELBOARD TO REMAIN, AFFECTED BY THIS WORK AND FOR EACH NEW PANELBOARD.

POSITIVE HANDLE TRIP WITH COMMON TRIP ON ALL MULTIPLE POLE BREAKERS.

SWITCHES, RECEPTACLES & OUTLETS

- PRIOR TO INSTALLATION OF ANY TELEPHONE, DATA AND RECEPTACLE OUTLETS, THIS CONTRACTOR SHALL VERIFY ITS FINAL LOCATION WITH THE ARCHITECTURAL
- 2. WHERE TWO OR MORE DEVICES OF THE SAME VOLTAGE ARE SHOWN TOGETHER ON THE PLANS, A GANGED PLATE SHALL BE USED. DEVICES OF DIFFERENT VOLTAGES SHALL BE SEPARATED HORIZONTALLY BY 6" AND SHALL BE HORIZONTALLY OR VERTICALLY ALIGNED.
- ALL RECEPTACLES, TELEPHONE, AND DATA OUTLETS SHOWN ON A WALL BACK TO BACK SHALL BE OFFSET A MINIMUM OF 6" HORIZONTALLY.
- 4. WALL PLATES SHALL BE STAINLESS STEEL. FINISH AS SELECTED BY THE ARCHITECT.
- COORDINATE LIGHT SWITCHES SHOWN ON DRAWINGS WITH DOOR SWINGS. LOCATE LIGHT SWITCH ON LOCK SIDE OF DOOR.
- CEILING MOUNTED OCCUPANCY (MOTION) SENSOR. RANGE:10', 15', 20' EACH SIDE, ULTRASONIC TECHNOLOGY, LOW VOLTAGE. WATTSTOPPER UT-300 WITH ACCESSORY POWER PACK BZ-150.
- CEILING MOUNTED OCCUPANCY (MOTION) SENSOR. RANGE:22' EACH SIDE, 5'X (45'each way =90'-CORRIDORS), ULTRASONIC TECHNOLOGY, LOW VOLTAGE. WATTSTOPPER WT SERIES, WITH ACCESSORY POWER PACK BZ-150.
- CEILING MOUNTED OCCUPANCY (MOTION) SENSOR. RANGE:10', 15', 20' EACH SIDE ULTRASONIC TECHNOLOGY, LINE VOLTAGE (120 208 277 VOLT), 3-WAY OPERATION WHERE INDICATED. WATTSTOPPER UT-355.
- 9. WALL OCCUPANCY (MOTION) SENSOR SWITCH. (AUTO ON/OFF), (MANUAL ON-AUTO OFF). INFRARED TECHNOLOGY. WATTSTOPPER PW-100.
- 10. WALL MOTION SENSOR SWITCH. AUTO ON/OFF. INFRARED TECHNOLOGY. WATTSTOPPER PW-103N.

LIGHTING FIXTURES

- THIS CONTRACTOR SHALL VERIFY THAT ALL DOOR SWINGS, FURNITURE AND EQUIPMENT ARE CORRECT BEFORE INSTALLING LIGHT SWITCHES AND OUTLETS.
- THIS CONTRACTOR SHALL VERIFY AVAILABLE VOLTAGE PRIOR TO ORDERING ANY FIXTURES. ALL FIXTURES SHALL BE COMPATIBLE WITH AVAILABLE VOLTAGE.
- COORDINATE RECESSED LIGHTING FIXTURES WITH SPRINKLERS, MECHANICAL EQUIPMENT AND ARCHITECTURAL CEILING PLAN. GRID LAYOUT ON PLANS IS APPROXIMATE, ADJUST AND COORDINATE LIGHTING FIXTURES IN FIELD PER ARCHITECTS REFLECTED CEILING PLAN.
- 4. THIS CONTRACTOR SHALL VERIFY THE TYPE OF CEILING TO INSURE THAT ALL LIGHTING FIXTURES ARE SUITABLE WITH CEILING FINISH.
- 5. PROVIDE FINISHED FRAMES FOR ALL RECESSED LIGHTING FIXTURES. TYPE TO BE COMPATIBLE WITH CEILING. COORDINATE ALL FIXTURE TYPES WITH CEILING SYSTEM BEFORE ORDERING FIXTURES. PROVIDE ALL MOUNTING ATTACHMENTS FOR A COMPLETE INSTALLATION, LIGHTING FIXTURES SHALL BE SUPPORTED FROM BUILDING STRUCTURE. LIGHTING FIXTURES SUPPORTED FROM CEILING SYSTEM OR MECHANICAL EQUIPMENT WILL NOT BE ACCEPTED.
- 6. ALL NEW LIGHTING FIXTURES SHALL BE INSTALLED COMPLETE WITH LED. SEE PLANS FOR SPECIFIC REQUIREMENTS.
- 7. COLORS AND FINISHES OF LIGHTING FIXTURES SHALL BE AS SELECTED BY THE

STARTERS AND DISCONNECT SWITCHES

- 1. THIS CONTRACTOR SHALL NOTE U.L. LABELS ON PACKAGED TYPE MECHANICAL EQUIPMENT. IF U.L. LABEL ON MECHANICAL EQUIPMENT TO BE INSTALLED CALLS FOR THE OVERCURRENT PROTECTIVE DEVICE TO BE FUSED. THIS CONTRACTOR SHALL PROVIDE A FUSED DISCONNECT SWITCH WITH PROPER SIZE FUSES AT THE SWITCH LOCATION INDICATED ON DRAWINGS.
- 2. LOCATE DISCONNECT SWITCH FOR MECHANICAL EQUIPMENT TO PERMIT SERVICING OF EQUIPMENT. PROVIDE FUSES IF REQUIRED BY MANUFACTURER OF EQUIPMENT FOR UL APPROVAL. CONNECT CONDUCTORS AS REQUIRED BY MANUFACTURER
- DISCONNECT SWITCHES INDICATED SHALL BE HEAVY— DUTY TYPE, HORSEPOWER RATED, QUICK-MAKE, QUICK-BREAK TYPE SWITCHES WITH SPRING REINFORCED WIRE GRIPS AND SELF-ALIGNING SWITCH CONTACTS AND SHALL BE ENCLOSED IN NEMA-1 UNLESS OTHERWISE NOTED. ENCLOSURE SHALL BE HEAVY METAL WITH HINGED INTERLOCKING COVER WHICH PREVENTS BEING OPEN IN "ON" POSITION.
- 4. PROVIDE CARTRIDGE TYPE FUSES IN SWITCHES.

BRANCH CIRCUITRY

- 1. ALUMINUM WIRING WILL NOT BE PERMITTED.
- 2. ALL WIRING SHALL BE 2#12+#12G IN 3/4" CONDUIT UNLESS NOTED
- 3. ALL CIRCUITRY ROUTING SHOWN IS DIAGRAMMATIC. THIS CONTRACTOR SHALL DETERMINE IN FIELD THE MOST SUITABLE ROUTES.
- 4. MINIMUM SIZE EMT OR CONDUIT SHALL BE 3/4".
- 5. NO NONMETALLIC CONDUIT SHALL BE USED FOR BRANCH CIRCUIT WORK ABOVE GRADE.
- 6. CIRCUITRY SHALL BE INSTALLED CONCEALED IN FINISHED AREAS, EXPOSED IN
- CIRCUITRY SHALL BE INSTALLED TIGHT TO THE UNDERSIDE OF THE FLOOR SLAB ABOVE IN A NEAT WORKMANLIKE MANNER. ALL INSTALLATION SHALL BE PARALLEL OR PERPENDICULAR TO BUILDING WALLS.
- 8. ALL EMPTY RACEWAYS SHALL CONTAIN A DRAG WIRE. EMPTY RACEWAYS 2" OR LARGER IN SIZE SHALL HAVE A MAXIMUM OF 3-90 DEGREE BENDS.
- MAKE FINAL CONNECTION TO ALL MOTORS AND VIBRATING EQUIPMENT WITH FLEXIBLE CONDUIT.
- 10. ALL CONDUIT/CABLE PENETRATIONS OF EXTERIOR WALLS, FIRE RATED WALLS AND FIRE RATED FLOORS, SHALL BE CAULKED AND SEALED WATERTIGHT. SEALS FOR FIRE RATED PENETRATIONS SHALL BE SEALED WITH UL LISTED PUTTY TYPE SEALING COMPOUND.

11. CONTRACTOR SHALL X-RAY THE CONCRETE FLOOR SLAB PRIOR TO CORE DRILLING OR CHISELING TO INSTALL NEW SLEEVES OR CONDUITS.

- 12. WIRING SHALL BE ARMORED CABLE OR METAL CLAD WIRING. ALL HOME RUNS
- SHALL BE INSTALLED IN GALVANIZED EMT. 13. FEEDER CONDUITS SHALL BE GALVANIZED EMT OR HEAVY WALL GALVANIZED RIGID STEEL.

WIRE AND CABLE

- THE CORRECT NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS, ONLY THOSE WHERE CLARIFICATION IS NECESSARY. THIS CONTRACTOR SHALL PROVIDE ALL WIRES NECESSARY FOR THE PROPER OPERATION OF THE SYSTEM WHETHER INDICATED ON DRAWINGS OR NOT.
- 2. ALL CONDUCTORS, RACEWAYS AND CABLES SHALL BE CONCEALED IN WALL OR INSTALLED ALONG BEAMS UNLESS INDICATED OTHERWISE.
- CONDUCTORS SHALL BE INSTALLED CONTINUOS BETWEEN DEVICES, WITH SPLICE LOCATED ONLY IN JUNCTION BOXES OR IN CABINETS. CONDUCTORS SHALL BE OF SUFFICIENT LENGTH TO REACH THE FARTHEST TERMINAL IN PANELS. A MINIMUM OF 6" LOOPS SHALL REMAIN WHERE CONNECTIONS OR TAPS ARE TO BE MADE IN BRANCH CIRCUIT WIRING.
- . FEEDERS SHALL BE COPPER (ALL CONDUCTOR SIZES INDICATED ON THE DRAWINGS ARE FOR COPPER CONDUCTORS). INSULATION SHALL BE RATED FOR 75 DEG. C. ALUMINUM FEEDERS WILL BE ALLOWED IF APPROVED BY LOCAL JURISDICTION; SIZES SHOWN ON THE DRAWINGS SHALL MODIFIED FOR ALUMINUM CONDUCTORS.
- 5. ALL WIRING SHALL BE COLOR CODED THROUGHOUT.
- 6. ALL BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER, MINIMUM NO. 12-EXCEPT CONTROL CONDUCTORS AND LIGHTING TAPS AS PERMITTED BY N.E.C. CONDUCTORS FOR SWITCHING LIGHTS SHALL NOT BE CONSIDERED CONTROL CONDUCTORS. ALL SIZES #8 OR LARGER SHALL HAVE THW INSULATION OR EQUIVALENT. THW OR EQUIVALENT SHALL BE REQUIRED FOR HEATERS OR OTHER UL LISTED DEVICES RATED AT 75 DEG. F. SUPPLY FEED.
- 7. ALL RECEPTACLES. LIGHTING FIXTURES, MOTORS, ETC., SHALL BE GROUNDED. ALL RECEPTACLE CIRCUITS SHALL CONTAIN A #12 INSULATED GROUND
- 8. BALANCE THE PANEL LOADS. INSTALL MULTIPLE HOMERUNS TO ALTERNATELY NUMBERED PANELBOARD CIRCUITS (i.e. 1, 3, 5).
- 9. ANY CIRCUITS SERVING. ISOLATED GROUND RECEPTACLES OR RECEPTACLES SERVING COMPUTER EQUIPMENT SHALL BE INSTALLED IN MULTIPLE HOMERUNS THIS CONTRACTOR SHALL OVERSIZE THE NEUTRAL CONDUCTOR TO A MINIMUM 200% OF THE CAPACITY OF PHASE CONDUCTORS
- 10. ALL 120 VOLT CIRCUIT HOMERUNS WHICH ARE OVER 100 LINEAR FEET SHALL BE A MINIMUM OF #10 CONDUCTORS UNLESS OTHERWISE INDICATED ON THE

ABBREVIATIONS

Α	AMPERES OR AMP
AC	ALTERNATING CURRENT
ADA	AMERICANS WITH DISABILITIES ACT
AIC	AMPERE INTERRUPTING CURRENT
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
С	CONDUIT
CAT	CATALOG
CKT	CIRCUIT
CU	COPPER
C/B	CIRCUIT BREAKER
C/T	CURRENT TRANSFORMER
CW	COOL WHITE
D	DEPTH
DWG	DRAWING
EC	EMPTY CONDUIT WITH PULL WIRE
FIXT	FIXTURE
FLA	FULL LOAD AMP
FLU0	FLUORESCENT
FLR	FLOOR
FT	FEET
G/GRND	GROUND OR GROUNGIND
GFI	GROUND FAULT INTERRUPTER
Н	HEIGHT
HP	HORSEPOWER
FB0	FURNISHED BY OTHERS INSTALLED BY THIS CONTRACTOR
INIC	INCANDESCENT

INCANDESCENT KCMIL THOUSAND CIRCULAR MILS KILOVOLT **KILOVOLTAMPS** KVA

KILOWATTS MINIMUM CIRCUIT AMPACITY MCB MAIN CIRCUIT BREAKER MOP MAXIMUM OVERCURRENT PROTECTION MIN MINIMUM

MISC MISCELLANEOUS MLO MAIN LUGS ONLY MOUNTING NATIONAL ELECTRICAL CODE

NEMA NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION NIC NOT IN CONTRACT NUMBER PVC POLYVINYL CHLORIDE

ROOM TYP TYPICAL U/G UNDERGROUND UON UNLESS OTHERWISE NOTED

VOLTAGE OR VOLT

VOLT AMP WATTS WITH **WEATHERPROOF**

ELECTRICAL SYMBOLS

2' X 4' LED LIGHTING FIXTURE

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2' X 4' LED LIGHTING FIXTURE ON NIGHT LIGHT CIRCUIT

WALL/ CEILING MOUNTED EXIT SIGN. SHADED AREA INDICATES LIGHTED FACE. ARROWS AS INDICATED ON DRAWING

GROUND FAULT CIRCUIT INTERRUPTER MOUNTED+44"AFF UON

20AMP. 125V 3W DUPLEX RECEPTACLE +18" AFF UON 20AMP, 125V 3W DUPLEX RECEPTACLE ABOVE COUNTER WITH BUILT-IN

20AMP, 125V 3W DUPLEX RECEPTACLE WITH BUILT-IN GROUND FAULT CIRCUIT INTERRUPTER MOUNTED+18"AFF UON

20AMP, 125V QUADRUPLEX RECEPTACLE +18" AFF UON

20A. 125V. 3W WEATHER-RESISTANT DUPLEX RECEPTACLE WITH BUILT-IN GROUND-FAULT CIRCUIT INTERRUPTER AND WEATHERPROOF COVER (WET LOCATION) MOUNTED +18" ABOVE FINISH FLOOR.

JUNCTION BOX

20A, 277/120V SINGLE POLE TOGGLE SWITCH, MOUNTED +48"

WALL MOUNTED VACANCY SENSOR LIGHT SWITCH WIRING AND CONDUIT CONCEALED IN CEILING OR WALL

WIRING AND CONDUIT CONCEALED IN FLOOR

HAVE A SEPARATE INSULATED GROUND WIRE

BRANCH CIRCUIT HOMERUN. NUMBER OF ARROWS INDICATE NUMBER OR CIRCUITS, NUMBER OF HASH MARKS INDICATE NUMBER OR WIRES IN CONDUIT WHEN MORE THAT TWO. GROUND WIRE NOT SHOWN. BUT REQUIRED. ALL CIRCUITS SHALL

CONDUIT TURNING UP

CONDUIT TURNING DOWN

CALL BUTTON

DATA/TELEPHONE OUTLET, MOUNTED +18" AFF UON CONTRACTOR SHALL PROVIDE 11/2" EMPTY CONDUIT EXTENDING ABOVE FINISHED CEILING SPACE SHALL BE TERMINATED WITH 90 DEGREE BEND APPROXIMATE 12" ABOVE THE HUNG CEILING, TERMINATED WITH PULL WIRE AND INSULATED BUSHING.

FIRE ALARM SPEAKER/STROBE DEVICE CEILING OR WALL MOUNTED. 80"AFF OR 6" BELOW CEILING WHICHEVER IS LOWER NUMBER INDICATE CANDELA RATING, "CM" INDICATES CEILING MOUNTED.

FUSIBLE DISCONNECT SWITCH, "30/2/20" AMPERE/POLES/FUSE SIZE

FIRE ALARM STROBE DEVICE CEILING OR WALL MOUNTED. 80"AFF OR 6" BELOW CEILING WHICHEVER IS LOWER NUMBER INDICATE CANDELA RATING, "CM" INDICATES CEILING MOUNTED.

SUBSCRIPTS ADJACENT TO SYMBOLS

EXISTING DEVICE

(XN)

(EXR) EXISTING RELOCATED DEVICE (XR) EXISTING DEVICE TO BE REMOVED AND RELOCATED EXISTING DEVICE TO BE REMOVED NEW DEVICE

REPLACE WITH NEW

107A W EDMONSTON DRIVE ROCKVILLE, MD 20852 (P) 301-605-7005 (C) 301-404-0449

> MONTGOMERY COUNTY PUBLIC (N SCHOOLS DIVISION OF CONSTRUCTION



ENGINEERS 220 North Adams Street, Rockville, MD 20850 CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland

License Number: 12404 Expiration Date: April 12, 2025

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PROJECT NO. 24-005 E.J.C. DRAWN BY R.C. REVIEWED BY

PROJECT ISSUE DATE

REV. | ISSUE: **PERMIT SET** 02/27/2024 **BID SET** 03/04/2024

DRAWING STAMP

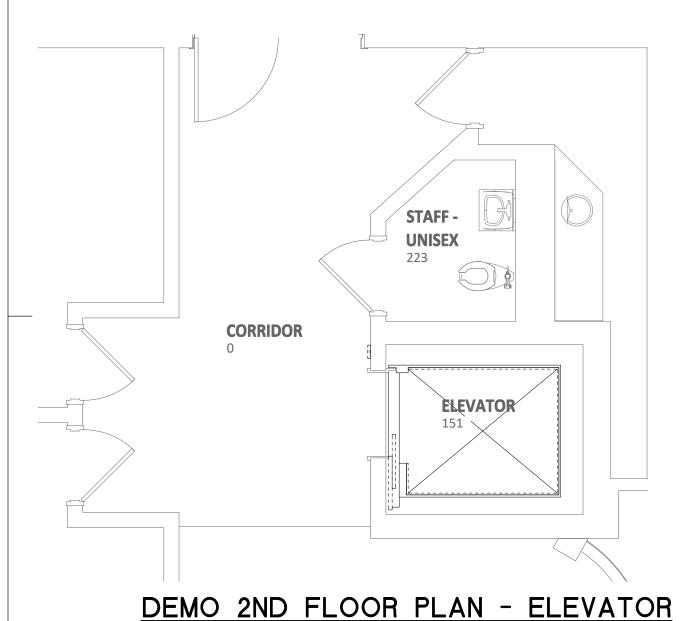
SHEET NUMBER

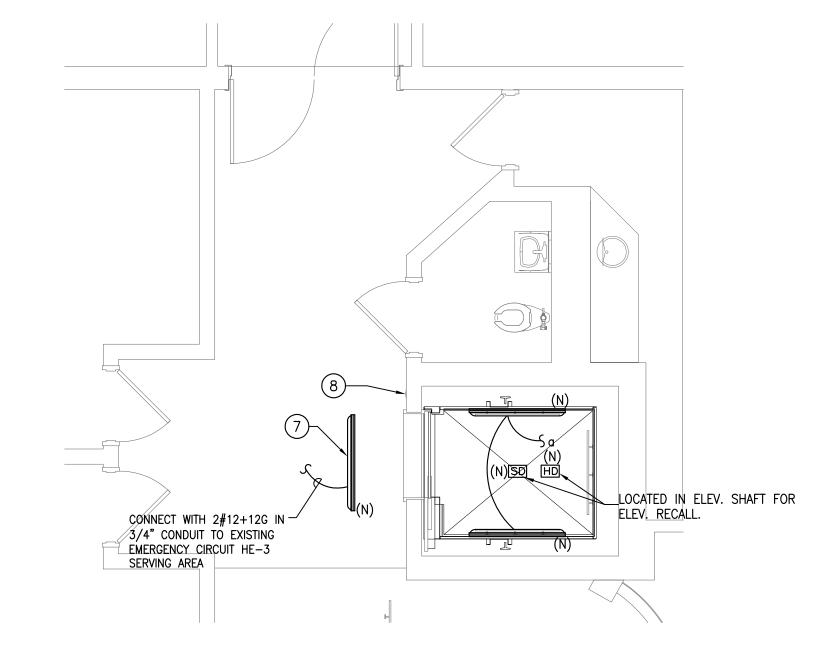
GENERAL NOTES: DEMOLITION

A. ALL WORK ON THIS PLAN IS EXISTING TO REMAIN UNLESS OTHERWISE INDICATED TO BE REMOVED.

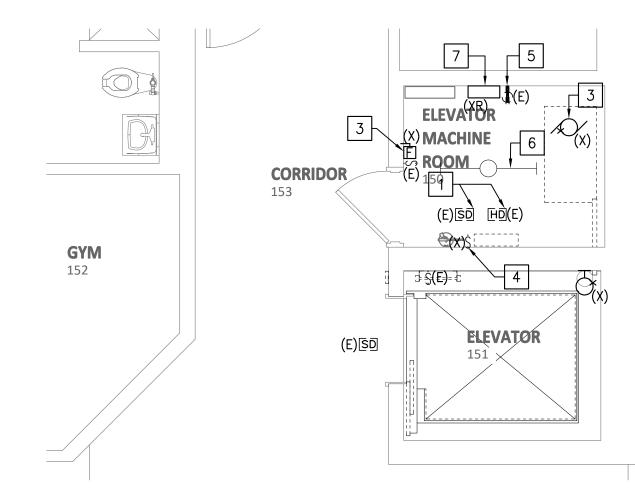
REFERENCE NOTES: DEMOLITION

- 1. EXISTING FIRE ALARM DEVICES SERVING ELEVATOR MACHINE ROOM, PIT/SHAFT ARE TO REMAIN.
- 2. EXISTING ELEVATOR PIT LIGHT FIXTURE TO BE REMOVED. REMOVE WIRE/CONDUIT BACK TO SOURCE.
- 3. EXISTING ELEVATOR MOTOR 30H.P 480V 3Ø, 60HZ MOTOR AND REMOVE ALL ASSOCIATED DISCONNECT SWITCH, CONDUIT AND WIRING, ETC. BACK TO SOURCE. TO BE REPLACE WITH NEW SEE NEW WORK.
- 4. EXISTING ELEVATOR LIGHT SWITCH SERVING ELEVATOR LIGHT TO BE REMOVED AND BRANCH CIRCUIT TO REMAIN.
- 5. EXISTING RECEPTACLE TO REMAIN U.O.N.
- 6. EXISTING LIGHT FIXTURE TO BE REMOVED. REMOVE WIRE/CONDUIT BACK TO SOURCE.
- 7. REMOVE AND RELOCATE HYDRAULIC PANEL TO NEW LOCATION, SEE NEW WORK.

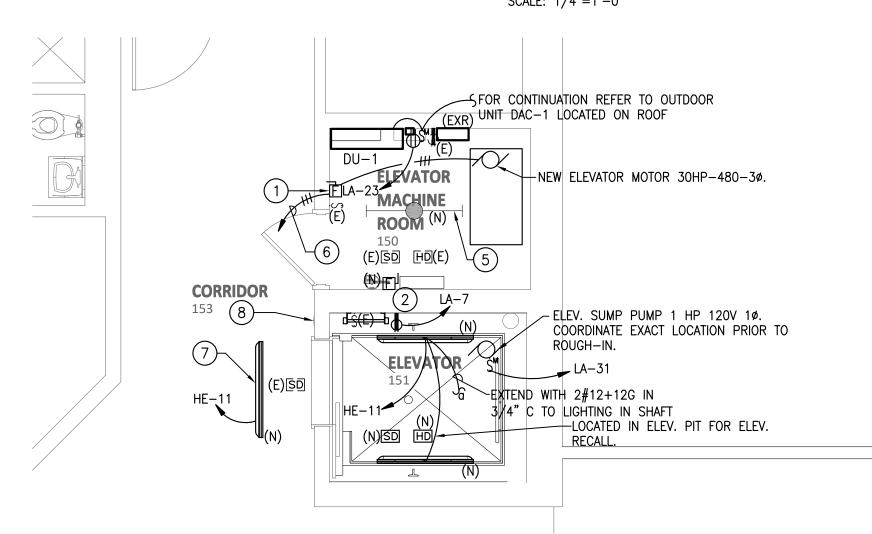




NEW WORK 2ND FLOOR PLAN - ELEVATOR



DEMO GROUND FLOOR PLAN - ELEVATOR SCALE: 1/4"=1'-0"



NEW WORK GROUND FLOOR PLAN - ELEVATOR

GENERAL NOTES: NEW WORK

- A. ALL WORK ON THIS PLAN IS NEW UNLESS OTHERWISE INDICATED AS EXISTING.
- B. ELEVATOR: EMERGENCY BATTERY OPERATION LOWERING, A MECHANICAL AUXILIARY CONTACT SHALL BE INSTALLED ON THE DISCONNECT SWITCH FOR ELEV. CAP. THE AUXILIARY SHALL BE CONFIGURED AS SPST AT 1AMP 115V (MIN). THE AUXILIARY CONTACT SHALL BE OPEN WHEN THE DISCONNECT SWITCH IS IN THE OPEN POSITION. OF A SHUNT TRIP CIRCUIT BREAKER IS PROVIDED AN AUXILIARY CONTACT SHALL BE INSTALLED ON THE CIRCUIT BREAKER.
- ELEVATOR REQUIREMENTS MAY VARY FROM ONE MANUFACTURER TO ANOTHER. CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENT OF ELEVATOR TO BE INSTALLED PRIOR TO ROUGH-IN TO ENSURE PROPER OPERATION AND OVERCURRENT PROTECTION.
- D. PROVIDE NEW SHUNT-TRIP TYPE MAIN LINE DISCONNECT SWITCHES AND FUSES CAR LIGHTING DISCONNECT SWITCHES. PROVIDE REQUIRED GROUNDING CONDUCTOR IN EACH DISCONNECT SWITCH. PROVIDE POWER SUPPLY AND BRANCH CIRCUIT FOR MACHINE ROOM PUMPING UNIT OIL COOLER OR OIL HEATER.

REFERENCE NOTES: NEW WORK

-DAC-1 LOCATED

-30/2/20 (NEMA 3R)

-FIRST FLOOR ELEVATOR

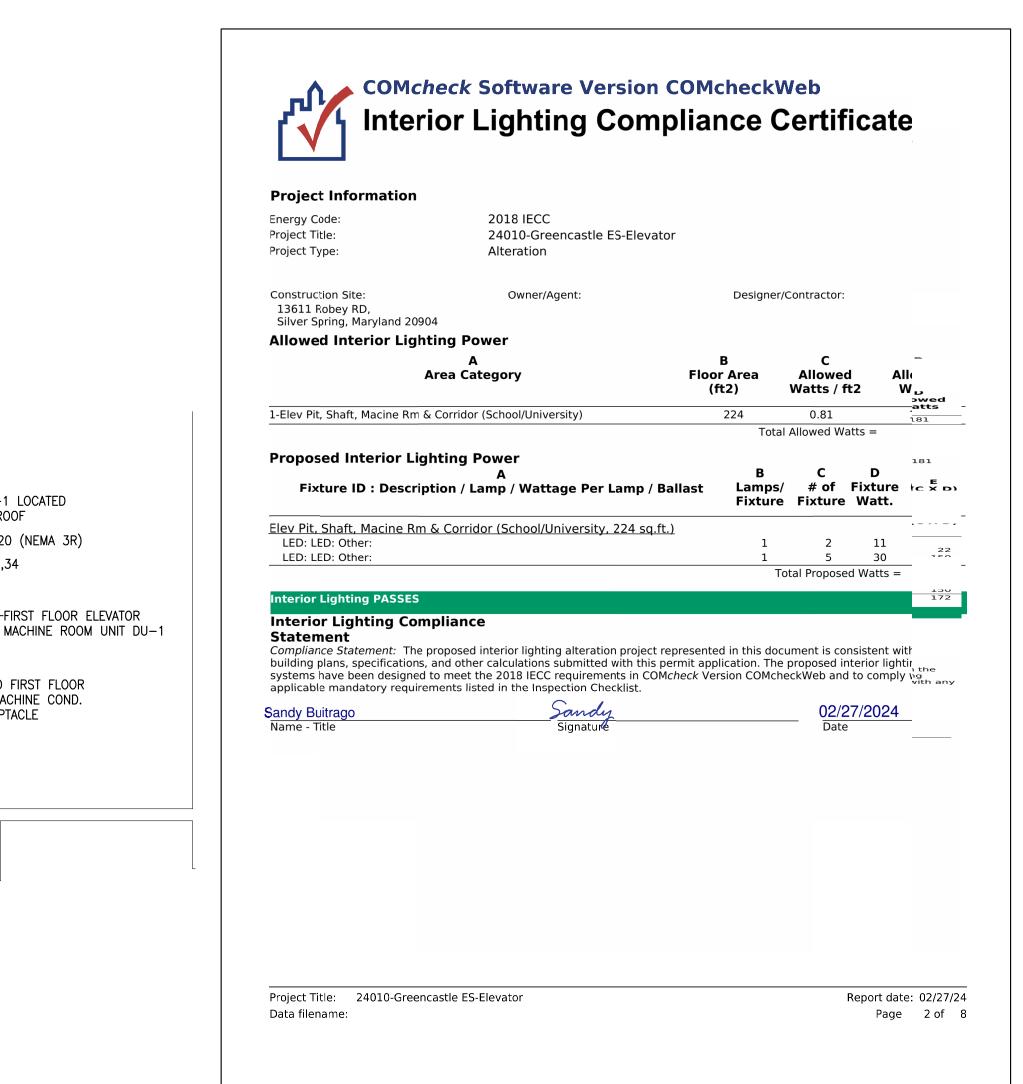
ON ROOF

-CONNECT TO FIRST FLOOR

ELEVATOR MACHINE COND.

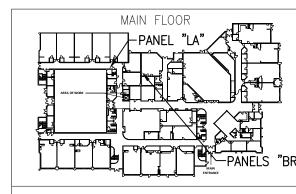
PUMP RECEPTACLE

- 1. PROVIDE 3P-100 AMP FUSED DISCONNECT SWITCH WITH 70 AMP DUAL ELEMENT TIME DELAY. FUSES SWITCH SHALL BE PROVIDED WITH PROVISION TO SEAL IN THE "OFF" POSITION, PROVIDE AUX DRY CONTACT.
- 2. PROVIDE 1P+S/N 30 AMP FUSED DISCONNECT SWITCH WITH 20 AMP FUSE FOR ELEVATOR CAR FAN & LIGHT.
- NOT USED.
- 4. PROVIDE MODIFICATIONS AND PROGRAMING OF THE BUILDING FIRE ALARM AND SMOKE DETECTOR SYSTEM AND ASSOCIATED DEVICES FOR ELEVATOR RECALL AND SHUNT TRIP OPERATION. AT THE PRESENT ALL EXISTING ELEVATOR RECALL SYSTEM SMOKE, HEAT DETECTOR IN THE ELEVATOR MACHINE ROOM, ELEVATOR PIT/SHAFT AND LOBBY ARE EXISTING TO REMAIN UON. THIS CONTRACTOR SHALL MODIFY IF SO REQUIRED BY NEW ELEVATOR REQUIREMENTS.
- PROVIDE NEW LED LIGHT FIXTURE FULLY ENCLOSED & GASKETED AT ELEVATOR PIT AND MACHINE ROOM LIGHT FIXTURE MANUFACTURER BY WILLIAMS CATALOG #96-4-L40-840-HIAFR-WET/1-UNIV FOR ELEVATOR PIT PROVIDE PART #WMB OR PROVIDE SIMILAR LIGHT FIXTURE.
- 6. RECONNECT BACK TO EXISTING PANEL BR-SECTION 2 600 AMP 277/480V 30 4W EXIST. POSITION #13 TO EXIST. 3P-70 AMP CIRCUIT BREAKER W/BUILT-IN SHUNT-TRIP MECHANISM SERVING SAME AND CONNECT WITH 3#4+8G IN 1 1/4" CONDUIT. REFER TO ELEVATOR NOTE ON THIS SHEET. EMERGENCY PANEL ARE UNDER WARRANTY BY AMBER ENTERPRISE. BIDDER SHOULD SEEK APPROVAL FROM AMBER, SO WARRANT IS NOT VOIDED.
- 7. PROVIDE NEW RECESSED LED LIGHT FIXTURE MODEL MX4RG-2'00-L12-8-30-F-DRV-UNV MANUFACTURED BY WILLIAMS LIGHTING OR SIMILAR.
- 8. CARD READER CONNECTION, RE-CONNECT TO EXISTING 120V RECEPTACLE CIRCUIT SERVING AREA WITH 2#12+12G IN 3/4" CONDUIT.



ELEVATOR NOTE:

MONTGOMERY COUNTY PUBLIC SCHOOLS, DOES NOT REQUIRE THE ELEVATORS TO BE CONNECTED TO THE GENERATOR EMERGENCY OR STANDBY CIRCUITS WHEN THE ELEVATOR UNIT IS EQUIPPED WITH BATTERY POWERING LOWERING DEVICES. THE EXISTING ELEVATOR AS WELL AS THE NEW ELEVATOR ARE EQUIPPED WITH BATTERY POWERING LOWERING DEVICES, THEREFORE IT DOES NOT REQUIRE TO BE CONNECTED TO THE GENERATOR.



© DCI ARCHITECTS, LLC

KEY PLAN

NOT TO SCALE

Ш 0 ~ 0 (1)

107A W EDMONSTON DRIVE

ROCKVILLE, MD 20852

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(C) 301-404-0449

DIVISION OF CONSTRUCTION

45 W. GUDE DRIVE, 4 th FLOOR

CONSULTING

ENGINEERS

220 North Adams Street, Rockville, MD 20850

I certify that these documents were

prepared and approved by me, and that I

am a duly licensed engineer under the laws

ERTIFICATION BLOCK

of the State of Maryland

Expiration Date:

NTAR

ME

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0

License Number: 12404

April 12, 2025

ROCKVILLE, MD 20850

MONTGOMERY

COUNTY PUBLIC

(V) SCHOOLS

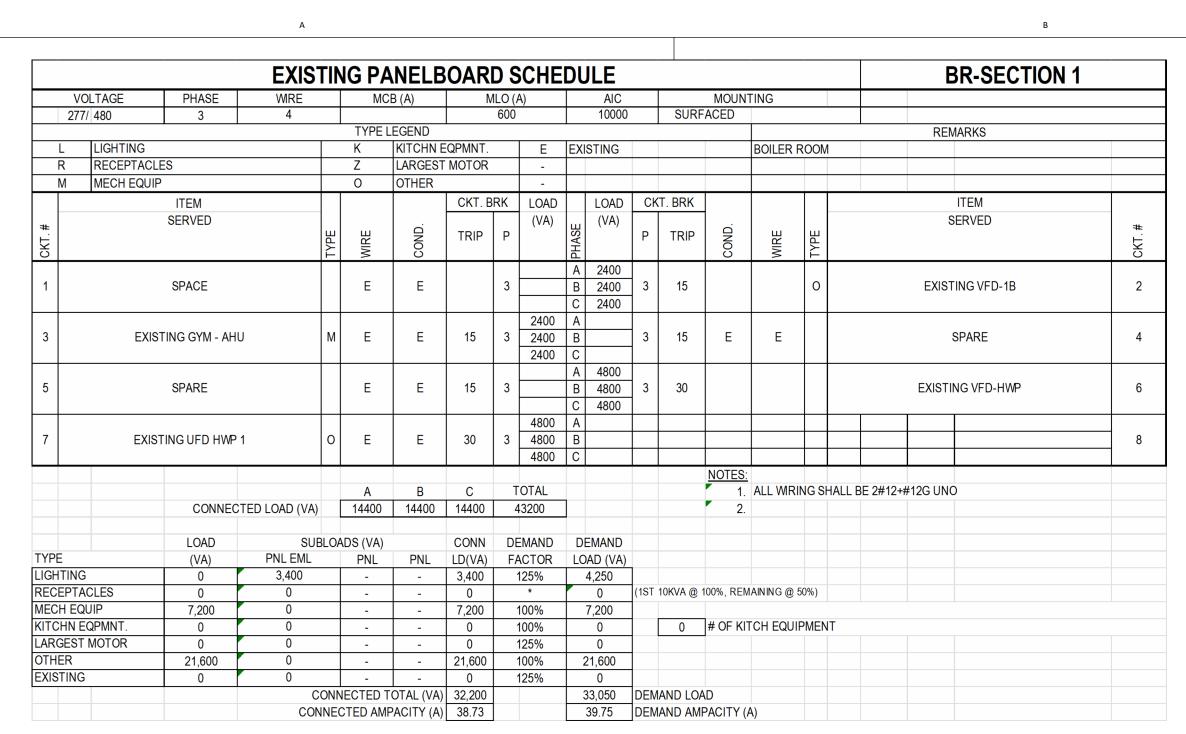
PROJECT NO. 24-005 E.J.C. DRAWN BY R.C. REVIEWED BY

PROJECT ISSUE DATE

REV. | ISSUE: 02/27/2024 PERMIT SET 03/04/2024 BID SET

DRAWING STAMP

SHEET NUMBER



			EXIS	TIN	IG PA	NELB	OAR	D S	CHE	DL	JLE						BR-SECTION 2		
	VOLTAGE	PHASE	WIRE		MC	B (A)	N	ILO (<i>i</i>			AIC			MOUN'	TING				
277/ 480 3 4			4				600				10000	SURFACED							
TYPE LEGEND																	REMARKS		
L	L LIGHTING					KITCHN E				EXI	STING				BOILER	ROOM	M		
R	RECEPTACL				Z	LARGEST	MOTOR		-										
М	MECH EQUIF			Ц,	0	OTHER			-										
	ITEM						CKT. B	RK	LOAD		LOAD	CK	KT. BRK				ITEM		
CKT.#		SERVED		TYPE	WIRE	COND.	TRIP	Р	(VA)	PHASE	(VA)	Р	TRIP	COND.	WIRE	TYPE	SERVED #.		
						Е			2400	Α									
9	EX	ISTING VFD 1-A		M	Е	15	3	2400	В		3	15			0	EXISTING VFD-1B 10			
									2400	С									
					_	_				Α		3		l _	_				
11	EXISTING EXHAUST FAN #1		AN #1	M E E			20	3		-	В		15	E	E		SPARE 12		
				Ш						С		Ш							
		CDADE			_	_	20	2		Α		,	20				SPARE 14		
	SPARE				Е	E	20	3		ВС		3	20				SPARE 14		
				H					11200	_									
13	EXISTING ELEVATOR FEED		:EED	$ _{0} $	Е	E	E 70			В				UNDENTIFIED 16					
"	EXISTING ELEVATOR TEED						'	3 11200 11200				1	'	-	-		ONSERVINIES 10		
										-				NOTES:					
		CONNECTED LOAD (VA			Α	В	С	T	OTAL						ALL WIR	ING S	SHALL BE 2#12+#12G UNO		
					13600	13600	13600	4	10800					2.					
			,																
		LOAD		BLOA	ADS (VA)		CONN	DE	EMAND	DI	EMAND								
TYPE		(VA)	PNL EML		PNL	PNL	LD(VA)		ACTOR		AD (VA)								
LIGHTII		0	3,400		-	-	3,400		125%		4,250								
	TACLES	0	0			-	0	•					1ST 10KVA @ 100%, REI		MAINING @	50%)			
MECH I		7,200		0		-	7,200		100%		7,200			1			_		
	KITCHN EQPMNT. 0		0		-	-	0		100%		0		0	J# OF KI	TCH EQU	IPMEN	N I		
	ST MOTOR	0	0		-	-	0		125%	<u> </u>	0								
OTHER		33,600	0		-	-	'		100%	-3	33,600								
EXISTI	NG	0	0	140	-	OTAL ()(A)	0		125%	_	0	DE.	ANDICA	<u> </u>					
						OTAL (VA)					,		AND LOA	AD PACITY (A	A \				
			CO	NINF	CTED AMP	53.16	l		l	54.19	Infili								

ITEM ER COOLER GYM VEST GYM AMPLIFIER VATOR ROOM LIGHTS ENT TEACHER LOUNGE ITLET HALL COR 118	#* XXX 2 2 4 6	
ITEM ER COOLER GYMVEST GYMAMPLIFIER VATOR ROOM LIGHTS ENT TEACHER LOUNGE	2 4	
ITEM ER COOLER GYMVEST GYMAMPLIFIER VATOR ROOM LIGHTS ENT TEACHER LOUNGE	2 4	
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VATOR ROOM LIGHTS ENT TEACHER LOUNGE		
ENT TEACHER LOUNGE	6	
TLET HALL COR 118	8	
	10	
COOLER CORRIDOR 118	12	
TH, STORAGE, 106 CORR 103	14 16	
EXISTING OUTLET TEACHER LOUNGE		
EXISTING OUTLET TEACHER LOUNGE		
EXISTING OUTLET TEACHER LOUNGE		
EXISTING MICROWAVE TEACHER LOUNGE EXISTING ELEVATOR ROOM LIGHTS		
EXISTING SPOT COOLER 134		
EXISTING SPOT COOLER 134 EXISTING SPOT COOLER 130		
	34	
	38	
SPACE	42	
Ö		
	LET TEACHER LOUNGE LET TEACHER LOUNGE WAVE TEACHER LOUNGE EVATOR ROOM LIGHTS SPOT COOLER 134	

EXISTING PANELBOARD SCHEDULE												HE				
VOLTAGE PHASE WIRE MCB (A) MLO (A)											TING					
277/ 480	3	4			00				10	000		SURF	ACED			
				TYPE L	.EGEND						•					REMARKS
	L LIGHTING			K	KITCHN E			EXISTIN	IG				MAIN EL	ECTR	ICAL ROOM	
R RECEPTACLES				Z		ST MOTOR		-								
M MECH EC	QUIP			0	OTHER			-								
	ITEM					CKT. B	3RK	LOAD	LO	AD	CK	T. BRK				ITEM
CKT.#	SERVED		TYPE	WIRE	COND.	TRIP	Р	(VA)	PHASE (A)	,	Р	TRIP	COND.	WIRE	TYPE	
	NG 2ND EXISTS 8	EMLTS	L	Е	Е	20	1	250	Α		1	20	Е	Е	L	EXISTING GYM EM & EXIT LIGHTS
	NG 2ND EXISTS 8		L	Е	E	20	1	250	В		1	20	Е	Е		EXISTING KINDERGARDEN EM & EXIT LIGHTS
5 EXISTI	NG 2ND EXISTS 8	EMLTS	L	Е	Е	20	1	800	С		1	20	Е	Е	L	EXISTING EMERGENCY & EXIT LIGHTS
7 EXISTING	EMERGENCY & E	XIT LIGHTS	L	Е	Е	20	1	800	Α		1	20	Е	Е	L	EXISTING EMERGENCY & EXIT LIGHTS
9 EXISTING	EMERGENCY & E	XIT LIGHTS	L	Е	Е	20	1	800	В		3	20	Е	Е		EXISTING TRANSFORMER T-2
11 CA	AB ELEVATOR LIG	HTS	L	Е	Е	20	1	500	С							н н
13	SPARE					20	1	500	Α							" " SPACE
15	SPACE							800	В						SPACE	
17	SPACE								С							SPACE
													NOTES:			
				Α	В	С	_	TOTAL								HALL BE 2#12+#12G UNO
	CONNE	ECTED LOAD (VA)		2630	1850	1300		5780					2.	THE FOLLOWING PANELS ARE CONNECTED TO THE SYSTEM: PANEL EMH & PANEL EML.		
	LOAD	SUE	SI OA	ADS (VA)		CONN	DI	EMAND	DEMAN	ND				OTOTEW	. 1 / (1)	LE LIVIT OF PARCE LIVIE.
YPE	(VA)	PNL	2201	PNL	PNL	LD(VA)		ACTOR	LOAD (
IGHTING	3,400	-		-	-	3,400	_	125%	4,250							
RECEPTACLES	0	-		-	-	0		*	0		IST 1	10KVA @ 1	100%, REM	IAINING @	50%)	
MECH EQUIP	0	-		-	-	0		100%	0							
KITCHN EQPMNT.	0	-		-	-	0		100%	0			0	# OF KI	TCH EQUI	PMEN	NT
ARGEST MOTOR	0	-		-	-	0		125%	0							
OTHER	0	-		-	-	0		100%	0							
EXISTING	0	-		-	-	0		125%	0							
		С	ONN	NECTED T	OTAL (VA)	3,400			4,250) D	EM/	AND LOA	ND			
		CON	NE	CTED AMF	PACITY (A)	4.09			5.11	D	EM/	AND AMF	PACITY (A)		



MONTGOMERY
COUNTY PUBLIC
SCHOOLS

DIVISION OF CONSTRUCTION
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ROCKVILLE, MD 20850



220 North Adams Street, Rockville, MD 20850
(301) 762-7172 www.ctaengineers.com

Pro. No.: 24010

CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland

License Number: 12404

Expiration Date:
April 12, 2025

GREENCASTLE ELEMENTARY SCHOOL ELEVATOR MODERNIZATION

RING, MD 20904
HEDULES

	•				
	PROJECT NO.	24-005			
	DRAWN BY	E.J.C.			
	REVIEWED BY	R.C.			

PROJECT ISSUE DATE

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REV.	ISSUE:	DATE
	PERMIT SET	02/27/2024
	BID SET	03/04/2024
O R A W	ING STAMP	

E003

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